



## COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Building & Planning 541-917-7550

# Staff Report

## Tentative Subdivision Plat and Floodplain Development Review

PA-02-24 & FP-02-24

September 26, 2024

### Summary

The proposal is to subdivide 6.65 acres of land into four lots. The site is located at 710 East Thornton Lake Drive NW. A location map is included as Attachment A and the proposed Tentative Plat is shown on Attachment B.

The following review criteria are applicable for this project: Tentative Plat Review under Albany Development Code (ADC) 11.180; Land Division within the Special Flood Hazard Area (SFHA) under ADC 6.110; and Grading, Fill, Excavation, and Paving within the SFHA under ADC 6.111. These criteria are addressed in this report and must be satisfied to grant approval of this application.

### Application Information

Type of Application:	Land Division (Tentative Subdivision Plat) for a four-lot subdivision within the Special Flood Hazard Area (SFHA) and the placement of fill within the SFHA to elevate proposed Lots 1-3 above the Base Flood Elevation.
Review Body:	Staff Review (Type I-L)
Property Owner/Applicant:	Daniel Watson; 710 East Thornton Lake Drive NW, Albany, OR 97321
Address/Location:	710 East Thornton Lake Drive NW
Map/Tax Lot:	Benton County Assessor's Map No. 10S-03W-31CC; Tax Lot 01500
Zoning:	RS-6.5 (Residential Single Dwelling Unit District)/Open Space (OS)
Overlay District:	Floodplain/Floodway (/FP); Significant Wetlands (/SW); Habitat Assessment (/HA); Hillside Development (/HD)
Total Land Area:	6.65 acres
Prior Land Use Approvals:	LA-08-17; Lot Line Adjustment

### Appeals

Any person who submitted written comments during a comment period or testified at a public hearing has standing to appeal the Type I-L staff decision to the Planning Commission by filing a Notice of Appeal and associated filing fee within ten days from the date the City mails the Notice of Decision.

## Notice Information

A Notice of Filing was mailed on July 18, 2024, to owners of property located within 300 feet of the subject property in accordance with ADC 1.220. At the conclusion of the public notice period on August 1, 2024, no comments were received.

## Staff Analysis

The Albany Development Code (ADC) includes the following review criteria for land divisions and development within the floodplain, which must be met for these applications to be approved. Code criteria are written in *bold italics* and are followed by findings and conclusions.

## Tentative Plat Review Criteria (ADC 11.180)

**Tentative Plat Review Criteria. Approval of a tentative subdivision or partition plat will be granted if the review body finds that the applicant has met all of the following criteria which apply to the development:**

### Criterion (1)

*The proposal meets the development standards of the underlying zoning district, and applicable lot and block standards of this Section.*

### Findings of Fact

- 1.1 Zoning. The applicant has applied for a Tentative Subdivision Plat Review to create a four-lot residential subdivision. The subject property is located at 710 East Thornton Lake Drive NW on Benton County Assessor's Map No. 10S-03W-31CC; Tax Lot 01500 and is a total of 6.65 acres in size. The property is currently split zoned Residential Single Dwelling Unit District (RS-6.5) and Open Space (OS). The RS-6.5 zoning district is intended primarily for a low-density residential environment. The OS zoning district is intended for the continuation and preservation of existing agricultural uses, park and recreation areas, wildlife habitats, wetlands, natural areas, flood conveyance, and uses that do not include the construction of structures.
- 1.2 Lot Sizes. Lot sizes in the RS-6.5 zoning designation depends on the proposed use, and ranges in size from 1,500 square feet (townhomes), 6,500 square feet (single-dwelling unit detached, duplex, and triplex), up to 7,000 square feet (cottage clusters and fourplexes). Parcels 1-3, as proposed, will each be 6,500 square feet in size and be located only in the RS-6.5 zoning district. Proposed Parcel 4 will contain the remaining 6.13 acres and will continue to be split zoned RS-6.5 and OS. All proposed Parcels will meet or exceed the minimum width standards.
- 1.3 Lot Width. The RS-6.5 zoning district has a minimum lot width of 20 feet for townhouses and 50 feet for all other uses. Parcel 1, as proposed, will have a width of 69 feet. Parcels 2 and 3, as proposed, will each have a width of 65 feet. The remaining Parcel 4 will have a width of approximately 363.5 feet. All proposed Parcels will exceed the minimum width standard.
- 1.4 Development Standards. No development is proposed with this application. At the time of building permit processing, setback, lot coverage, and height standards will be applied to ensure construction meets the applicable development standards of the underlying zoning district. There is an existing dwelling unit, an accessory dwelling unit, and four accessory buildings on proposed Lot 4. The existing development meets and will continue to meet the setbacks, lot coverage, and height standards of the RS-6.5 zoning district once subdivided.
- 1.5 Lot and Block Standards. The lot and block standards under ADC 11.090 are addressed later in this report. The findings show the lot and block standards are met without conditions.

### Conclusions

- 1.1 Based on the factors above, the proposal meets the applicable development standards of the underlying zoning districts.
- 1.2 This criterion is met.

### Criterion (2)

***Development of any remainder of property under the same ownership can be accomplished in accordance with this Code.***

#### Findings of Fact

- 2.1 The subject property is located on Benton County Assessor's Map No. 10S-03W-31CC; Tax Lot 01500 and is owned in its entirety by Daniel and Andrea Watson.
- 2.2 The subdivision proposes to create four lots, Parcel 1 at 6,900 square feet, Parcels 2 and 3 at 6,500 square feet each, and the remainder Parcel 4 at approximately 6.13 acres.
- 2.3 The applicant submitted an urban conversion plan, which indicates the remainder of the property under the same ownership can be developed in the future.

### Conclusions

- 2.1 All property included in this subdivision is under the same ownership. The submitted urban conversion plan submitted with the application materials indicate the remainder, Parcel 4, could accommodate future development in accordance with this code.
- 2.2 This criterion is met.

### Criterion (3)

***Adjoining land can be developed or is provided access that will allow its development in accordance with this Code.***

#### Findings of Fact

- 3.1 ADC 12.060 requires that development have frontage on or approved access to a public street currently open to traffic. This review criterion has been interpreted by the city council to require only that adjoining land either have access or be provided access to public streets. The property has frontage on East Thornton Lake Drive, a public right-of-way and a private right-of-way owned by the applicant, Daniel Watson. Proposed Parcels 1-3 are to connect to East Thornton Lake Drive, a public right-of-way. Parcel 4 has an existing access to East Thornton Lake Drive via private right-of-way and will continue to be accessed from the private right-of-way.
- 3.2 Properties to the north: North of the subject property are approximately multiple single-dwelling units each with frontage on and access to East Thornton Lake Drive. The proposed land division does not affect the existing or future development of these six lots.
- 3.3 Property to the east: East of the subject property are three existing single-dwelling unit with frontage on and access to East Thornton Lake Drive. The proposed land division does not affect the future development of this lot.
- 3.4 Property to the south: South of the subject property is East Thornton Lake, a waterway which is further abutted by a city park. Access to the park is from North Albany Road. The proposed land division does not affect the access to this site.
- 3.5 Property to the west: West of the subject property are multiple dwelling units with frontage onto a private right-of-way which connects to East Thornton Lake Drive. The proposed land division does

not increase the amount of development upon this existing private right-of-way nor the future development of these properties.

### Conclusions

- 3.1 All adjoining properties have access to public streets through the existing transportation system, and the proposed subdivision plan will not remove that access.
- 3.2 This criterion is met.

### Criterion (4)

***The Public Works Director has determined that transportation improvements are available to serve the proposed subdivision or partition in accordance with Article 12 or will be made available at the time of development.***

### Findings of Fact

- 4.1 The proposed land division is located at 710 Thornton Lake Drive NW.
- 4.2 The proposed development will subdivide a unit of land into four parcels with the existing dwelling located upon Parcel 4.
- 4.3 East Thornton Lake Drive is classified as a local street and is not currently constructed to city standards. The existing street has a pavement width of approximately 17 feet and provides a single vehicle travel lane in each direction.
- 4.4 Albany's Transportation System Plan does not identify any level of service or congestion issues adjacent to the proposed development.
- 4.5 The Albany Development Code (ADC) Article 12.090 states: "*except for lots created by a middle housing land division, creation of easement to provide access to the public street system shall be approved when the applicant has demonstrated that all of the following criteria has been met: (1) No more than two residentially zoned parcels or uses will be served by the proposed access easement; (2) There is not enough room for a public right-of-way due to topography, lot configuration, or placement of existing buildings; and (3) The City Engineer has determined that there is no need for a public street in this location.*"
- 4.6 Along the west side of the property is a private road that provides access to the subject property, future Parcel 4, and seven other adjacent properties. This private road is located on a separate parcel from the properties that are served by this access. ADC 12.090(1) states "No more than two parcel or uses are to be served by the proposed access easement." This private road is considered an existing non-conforming road that was annexed into the City of Albany in 1991.
- 4.7 Section 12.200 of the ADC requires public streets within and adjacent to development be improved to city standards. When the City Engineer determines that improvements of the street are not timely, the City may accept a Petition for Improvement/Waiver of Remonstrance for participation in a future assessment district.
- 4.8 Section 12.190 of the ADC states that cul-de-sacs may be used for the end of a street but must not exceed 400 feet. Dead-end streets longer than 400 feet must be approved by the City Engineer if no other means is available for development of the property.
- 4.9 The City Engineer determined the eventual need for a public street along the west boundary of the proposed development.
- 4.10 The future development of the subject property and the potential re-development of existing development through middle housing options, would put more demand on the private road. This would put the private road further out of conformance with street standards within the ADC. The existing trips on existing private road based off ITE Manual Category 210 and 220 is 99.70 average daily trips, eight of which would occur during the PM Peak.
- 4.11 Based upon the applicant's submitted urban conversion plan the remaining parcel, Parcel 4, has the potential

for further development. The submitted urban conversion plan indicates the possibility for the development of a 520-foot cul-de-sac. The proposed length of the cul-de-sac would exceed the allowable length in ADC 12.190. The future street would need to meet ADC 11.090(5) block length standards. The future street would create a block length over the average length of 600 feet but would be allowable as an individual block length not exceeding 800 feet.

- 4.12 The private road is considered non-conforming and adding additional development potential and traffic to the private road would push the private road further into non-conformance. ADC 12.110 states that new streets may be required to be located where the City Engineer determines that additional access is needed to relieve or avoid access deficiencies on adjacent or nearby properties. In determining the location of new streets in a development or street plan, consideration shall be given to maximizing available access for adjoining development sites.
- 4.13 The submitted application materials (Attachment B.2) indicates the applicant proposes the construction of half-street improvements along East Thornton Lake Drive along Parcels 1-3 with a 10-foot right-of-way dedication. Parcel 1 appears to be setup as a corner lot with East Thornton Lake Drive and the private road with Tract A being the future right-of-way needed for a public street.

### Conclusions

- 4.1 Albany's Transportation System Plan does not identify any level of service or congestion issues adjacent to the proposed development.
- 4.2 Improvement of public streets that join new development is a requirement of ADC 12.060 and 12.200. The development plan for the site proposes construction of a partial width street improvement along the site's frontage on East Thornton Lake Drive. The proposed street designs conform to the design standards contained in ADC 12.120 and 12.122.
- 4.3 The development has frontage on a private street not constructed to city standards. The City Engineer has determined this private street will need to be a public street for future development of the subject property and potential redevelopment of adjacent properties. Due to the small nature of the development and the lack of adjoining city standard street improvements, the City Engineer has determined that it is not now timely for this development to improve the private street frontage to city standards and that an improvement assurance should instead be provided.

### Conditions

- Condition 1** Prior to recording the final plat map, the applicant shall construct or financially assure the construction of partial width street improvements along the site's frontage on East Thornton Lake Drive. Improvements shall be consistent with the approved site plan and consist of:
- A curb, gutter, and sidewalk along the south side of the street. The curb alignment shall reflect an ultimate curb to curb width of 30 feet centered within a 54-foot right of way.
  - The construction of the driveway approaches as shown on the approved site plan.
  - The construction of pavement to meet city standards with a width of 24 feet as measured from the south face of curb.
- Condition 2** Prior to recording the final plan map, the applicant shall provide a Petition for Improvement-Waiver of Remonstrance for participation in an assessment district for the improvement future public street along the western boundary of the subject property.
- Condition 3** Prior to or with recording the final plat map, the applicant shall dedicate:
- 10 feet of public street right-of-way along the site's frontage on East Thornton Lake Drive.
  - A 7-foot public utility easement along the site's frontage on East Thornton Lake Drive
  - 7 feet of public street right-of-way along the site's frontage along the western frontage.

- A seven-foot public utility easement along the site's frontage along the western frontage.

## Criterion (5)

*The Public Works Director has determined that public facilities and utilities are available to serve the proposed subdivision or partition in accordance with Article 12 or will be made available at the time of development.*

### Findings of Fact

#### Sanitary Sewer:

- 5.1 City utility maps show an 8-inch public sanitary sewer main in East Thornton Lake Drive NW and an 8-inch public sanitary sewer main in the private road along the western boundary line of the subject property.
- 5.2 ORS 92.090 state that no subdivision plat shall be approved unless sanitary sewer service from an approved sewer disposal system is available to the lot line of each and every lot depicted in the proposed subdivision plat.
- 5.3 The applicant's preliminary plans show that the proposed development will be connected to the public sanitary sewer system for each lot in the subdivision. An Encroachment Permit from the City of Albany's Public Works Engineering Division is required before work is started on the new sewer lateral construction.

#### Water:

- 5.4 City utility maps show an 8-inch public water main in East Thornton Lake Drive NW and an 8-inch public water main within the private road along the western boundary line of the subject property.
- 5.5 ORS 92.090 states that no subdivision plat shall be approved unless water service from an approved water supply system is available to the lot line of each and every lot depicted in the proposed subdivision plat.
- 5.6 AMC 11.01.120(2)(e) states that all main extensions shall extend to the extreme property line of the development or lot. If the property has excess frontage on the right-of-way and only partial development is to occur, then some consideration may be given to shortening the extension, provided sufficient assurance is given to ensure the completion of the extension at the time other development occurs. Where mains are being extended into the interior of a property or development, the mains shall be extended through to the boundaries of the property at all such points as shall be determined as needed unless it is determined that the extensions are not needed to provide current or future looping of water mains, or to provide current or future services to adjacent properties.
- 5.7 The public water main was extended by the applicant across the frontage of the new proposed lots in East Thornton Lake Drive. Due to the excess frontage on the right-of-way and partial development of the original parcel, a Petition for Improvements and Waiver of Remonstrance will be needed for remaining property frontage along West Thornton Lake Drive.
- 5.8 ADC 12.410 requires all new development to extend and/or connect to the public water system if the property is within 150 feet of an adequate public main.
- 5.9 The applicant's preliminary plans show the proposed development will be connected to the public water system for each lot in the subdivision.

#### Stormwater Drainage:

- 5.10 City utility maps show un-piped public storm drainage system in East Thornton Lake Drive. East Thornton Lake Drive is not improved to city street standards.

- 5.11 It is the property owner's responsibility to ensure that any proposed grading, fill, excavation, or other site work does not negatively impact drainage patterns to, or from, adjacent properties. In some situations, the applicant may propose private drainage systems to address potential negative impacts to surrounding properties. Private drainage systems that include piping will require the applicant to obtain a plumbing permit from the Building Division prior to construction. In addition, any proposed drainage systems must be shown on the construction drawings. The type of private drainage system, as well as the location and method of connection to the public system must be reviewed and approved by the City of Albany's Engineering Division.
- 5.12 ADC 12.530 states that the review body will approve a development request only when adequate provisions for storm and flood water run-off have been made as determined by the City Engineer. AMC 12.45.030 and 12.45.040 require that a post-construction stormwater quality permit shall be obtained for all new development and/or redevelopment including all phases of the development, where more than 5,000 square feet of impervious surfaces will be created or replaced. (ORD. 6012 § 2, 2023).
- 5.13 The submitted preliminary drainage report indicates that 100 percent of the stormwater quality event and peak flow volumes up to the 25-year event infiltrates into the native soils to meet the infiltration standard for stormwater quality. The applicant will need to provide documentation of the infiltration rate of the soils and how much of an area is needed to infiltrate runoff from the development in lieu of construction of a storm drainage main in East Thornton Lake Road. With the storm events retained onsite, the 15-inch proposed culvert will not need to be installed. Future development on the site may require a storm drainage main to East Thornton Lake.

#### Private Franchise Utilities:

- 5.14 ADC 12.390 states except as exempted in Section 12.400, all utility lines, cables, or wires (including but not limited to those used for electricity, communication, street lighting, and cable television) constructed upon, adjacent to, or within land subdivided or prepared for development after the effective date of this Code, must be placed underground. The intent of the City is that no poles, towers, or other structures associated with utility facilities shall be permitted on any street or lot within such a subdivision or development.

#### Fire Safety:

- 5.15 The Albany Fire Department has reviewed the proposed subdivision for conformance with the 2022 Oregon Fire Code (OFC), and their comments are included as Attachment F. Fire safety requirements include street naming conventions, the provision of adequate water supply and capacity, and emergency accesses to and within the subdivision, including turnarounds, parking restrictions, and easements. The applicant must show compliance with fire safety standards prior to final plat approval of the development.

#### Conclusions

- 5.1 Public utilities (sanitary sewer and water) must provide service to each of the parcels within the subdivision.
- 5.2 Before the applicant can make a new sewer service connection to the public sewer system an Encroachment Permit must be obtained from the City of Albany's Engineering Division.
- 5.3 The applicant will need to provide documentation of the infiltration rate of the soils and the size of area that is needed to infiltrate runoff from the development. This area will need to be within a storm easement dedicated to the city.
- 5.4 The applicant must place all utility lines, cables, or wires (including but not limited to those used for electricity, communication, street lighting, and cable television) underground, upon, adjacent to, or within land in the subject subdivision.

## Conditions

- Condition 4** Prior to final plat approval, the applicant must construct public sanitary sewer, and water facilities to serve the proposed subdivision, generally as shown on the preliminary utility plans.
- Condition 5** Prior to final plat approval, the applicant shall dedicate a storm drainage easement over the infiltration area. Applicant shall provide infiltration test and determine the area needed to infiltrate a 10-year storm event.
- Condition 6** Before the City will approve the final subdivision plat, the applicant must place all utility lines, cables, or wires underground upon, adjacent to, or within the land in the subject subdivision.
- Condition 7** Prior to the approval of the Final Plat, the applicant must show compliance with the requirements from the Albany Fire Department (Attachment F).

**NOTE:** *All required permits must be obtained through the Public Works Department before beginning work on any of the aforementioned improvements. Final design and construction details will be reviewed as part of the required permits. Reference is hereby made to the comments provided by the Public Works Department, Engineering Division.*

## Criterion (6)

***Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.***

## Findings of Fact

- 6.1 Article 4 Airport Approach Overlay District: Figure 4-1 shows that the subject property is located outside the Airport Approach District.
- 6.2 Article 6 Floodplain Overlay District: Portions of the property are in the Special Flood Hazard Area (SFHA), commonly referred to as the 100-year floodplain. Based upon Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Community Panel No. 41043C0213H dated December 8, 2016, shows portions of the subject property to be located within Zone AE and the regulated Floodway of the SFHA with a Base Flood Elevation (BFE) of 202 feet based on the North American Vertical Datum of 1988 (NAVD'88). ADC 6.110, Land Division in the Floodplain applies to the proposed subdivision; those criteria are addressed later in this report and those findings are included here by reference.
- 6.3 Article 6 Hillside Development Overlay District: According to Chapter 11, Plate 7 of the Comprehensive Plan, the subject property is located in the Hillside Development District. Proposed Parcels 1 through 3 will be located within the Hillside Development District. The applicant does not propose any development on the created parcels at this time. As a condition of approval, the applicant shall provide a geotechnical report and soils report prepared and stamped by a certified engineering geologist, or a licensed civil engineer, licensed in the specialty of geotechnical engineering with the State of Oregon.
- 6.4 Article 6 Wetlands: *Comprehensive Plan Plate 6* indicates significant wetlands, riparian corridor, and habitat assessment areas are located upon the subject property near the bank of East Thornton Lake. Based upon the site plan provided (Attachment B) these sensitive natural resources will be confined to Parcel 4, the remainder of the subdivision. This parcel is already developed with an existing dwelling unit, an accessory dwelling unit and multiple accessory buildings. Notice of the pending land use was sent to Oregon Department of State Lands who responded without concerns. Any additional development upon Parcel 4 must comply with all applicable Article 6 standards and requirements for Natural Resource Areas.
- 6.5 Article 7 Historic Overlay District: According to Chapter 11, Plate 9 of the Comprehensive Plan, the



subject property is not located within the Historic Overlay District. There are no known archaeological sites on the property.

## Conclusions

- 6.1 The subject property is located within the: Riparian Corridor Overlay District (/RC); Significant Wetlands Overlay District (/SW); Habitat Assessment Overlay District (/HA). No new development is proposed within any of these overlay districts.
- 6.2 The creation of lots and the placement of fill in the floodplain is addressed later in this staff report and is incorporated here by reference.
- 6.3 Parcels 1 through 3 will be located within the Hillside Development Overlay. As a condition of approval, prior to the issuance of building permits in the Hillside Development Overlay District, a geotechnical report meeting the requirements of ADC 6.200-6.220 must be submitted for review.

## Condition

- Condition 8** Prior to the issuance of a building permit in the Hillside Development Overlay, the applicant must provide a geotechnical report and soils report prepared and stamped by a certified engineering geologist, or a licensed civil engineer, licensed in the specialty of geotechnical engineering with the State of Oregon.

## Lot and Block Arrangements Review Criteria (ADC 11.090)

*In any land division for single-family residential or middle housing development, lots and blocks shall conform to the following standards in this Article and other applicable provisions of this Code:*

### Criterion (1)

*Lot arrangement must be such that there will be no foreseeable difficulties, for reason of topography or other condition, in securing building permits to build on all lots in compliance with the requirements of this Code with the exception of lots designated Open Space.*

### Findings of Fact

- 1.1 The proposed parcels meet or exceed the minimum lot size for the underlying RS-6.5 zoning district. The size and dimensions of the proposed lots will allow for setbacks to be met while providing an adequate building envelope.
- 1.2 Portions of the subject property are in an area with steep slopes (hillside development). The applicant proposes to place fill within the floodplain, which is located at the toe of the steep slopes located upon the subject property. Based upon the addition of fill and the orientation of Parcels 1 through 3 the subdivision has been designed to accommodate the existing topography ensuring building permits may be issued for each lot.

### Conclusion

- 1.1 This criterion is met.

### Criterion (2)

*Lot dimensions must comply with the minimum standards of this Code. When lots are more than double the minimum area designated by the zoning district, those lots must be arranged so as to allow further subdivision and the opening of future streets where it would be necessary to serve potential lots. An urban conversion plan may be required in conjunction with submittal of tentative subdivision or partition plat.*

### Findings of Fact

- 2.1 The subject property is located within the RS-6.5 zoning district, which has a minimum lot size of 6,500 square feet for residential, non-townhome development. The proposed subdivision would create Parcel 1 at 6,900 square feet, Parcels 2 and 3 each at 6,500 square feet, and Parcel 4 at 6.13 acres. Parcel 4 will be created at more than double the minimum area of 6,500 square feet.
- 2.2 The applicant submitted an urban conversion plan which indicated how further development of Parcel 4 could be accomplished in the future.

### *Conclusion*

- 2.1 This criterion is met.

### Criterion (3)

*Double frontage lots shall be avoided except when necessary to provide separation of residential developments from streets of collector and arterial street status or to overcome specific disadvantages of topography and/or orientation. When driveway access from arterials is necessary for several adjoining lots, those lots must be served by a combined access driveway in order to limit possible traffic hazards on such streets. The driveway shall be designed and arranged so as to avoid requiring vehicles to back into traffic on arterials. An access control strip shall be placed along all lots abutting arterial streets requiring access onto the lesser class street where possible.*

### Findings of Fact

- 3.1 No double frontage lots are proposed.

### *Conclusion*

- 3.1 This criterion is met.

### Criterion (4)

*Side yards of a lot shall run at right angles to the street the property faces, except that on a curved street the side property line shall be radial to the curve.*

### Findings of Fact

- 4.1 As shown on the Tentative Plat, lot lines run at right angles to the streets, or radial to the curved portions of the streets.

### *Conclusion*

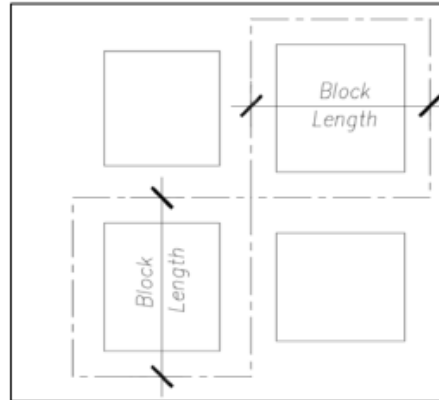
- 4.1 This criterion is met.

### Criterion (5)

*The average block length shall not exceed 600 feet. Block length is defined as the distance along a street between the centerline of two intersecting through streets (Figure 11.090-1). The City may grant an exception to the average block length standard based on one or more of the conditions in subsections (a) through (c) below.*

- (a) *Physical conditions preclude an average block length of 600 feet or less. Such conditions may include steep slopes or the existence of physical features, including, but not limited to: wetlands, riparian corridors, mature tree groves, or a resource under protection by State or Federal law.*

- (b) *Existing transportation or utility facilities, buildings, or other existing development on adjacent lands, including previously subdivided but vacant lots or parcels, physically preclude an average block length of 600 feet or less, considering the potential for redevelopment.*
- (c) *An existing public street or streets terminating at the boundary of the development site have a block length exceeding 600 feet or are situated such that the extension of the street(s) into the development site would create a block length exceeding 600 feet. In such cases, the average block length shall be as close to 600 feet as practicable.*



**FIGURE 11.090-1. Block Length**

### Findings of Fact

5.1 The Tentative Plat does not create any blocks.

### *Conclusion*

5.1 This criterion is met.

### Criterion (6)

*Off-street pedestrian pathways shall be connected to the street network and used to provide pedestrian and bicycle access in situations where a public street connection is not feasible.*

### Findings of Fact

6.1 All lots have direct access to a public street and no off-street pedestrian pathways are proposed or required.

### *Conclusion*

6.1 This criterion is not applicable.

### Criterion (7)

*With the exception of townhouse development, the minimum frontage of a lot on a cul-de-sac shall be 22 feet as measured perpendicular to the radius.*

### Findings of Fact

7.1 The application does not involve the creation of a cul-de-sac.

### *Conclusion*

7.1 This criterion is not applicable.

## Criterion (8)

*Flag lots are allowed only when the City Engineer has determined that the dedication and improvement of a public street is not feasible or not practical. The minimum width for a flag is 22 feet, except when access is shared by an access and maintenance agreement in which case each lot shall have a minimum width of 12 feet and a combined minimum of 24 feet.*

### Findings of Fact

8.1 The applicant does not propose the creation of a flag lot.

### *Conclusion*

8.1 This criterion is met.

## Criterion (9)

*At all street intersections, an arc along the property lines shall be established so that construction of the street at maximum allowable width, centered in the right-of-way, shall require not less than a twenty-foot radius of the curb line.*

### Findings of Fact

9.1 No new intersections are proposed with this development.

### *Conclusion*

9.1 This criterion is met.

## Floodplain Review: Site Improvement, Land Division, and Manufactured Home Park Standards (ADC 6.110)

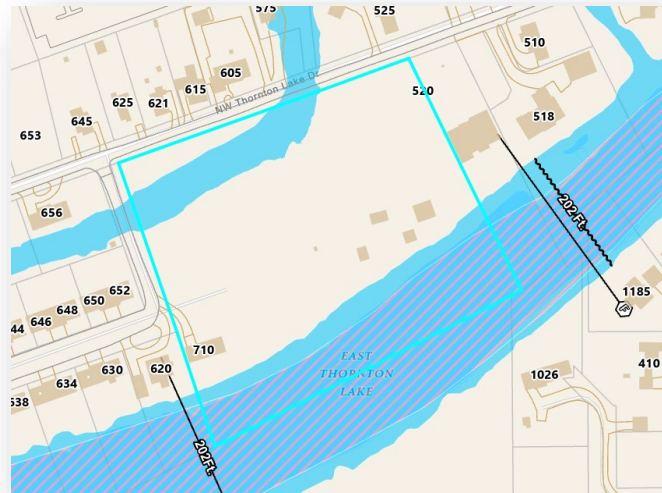
### Criterion 1

**All proposed new development and land divisions shall be consistent with the need to minimize flood damage and ensure that building sites will be reasonably safe from flooding.**

### Findings of Fact

- 1.1 Portions of the subject property are located in the SFHA, commonly referred to as the 100-year floodplain. FIRM Panel No. 41043C-0213H, dated December 8, 2016, shows portions of the subject property to be located within Zone AE of the SHFA, with a BFE of 202 feet on the North American Vertical Datum of 1988 (NAVD '88). A FEMA regulatory Floodway is mapped on the FIRM Panel with approximately 53,865 square feet of the southern portion of the property within the Floodway.
- 1.2 The SFHA floodway boundaries are shown on the applicant's utilities and grading plan set on Attachment D.4 and the flood fringe is shown on the preliminary subdivision plat (Attachment B).

### **Subject Property with Floodplain Overlay**



- 1.3 The proposal will divide the subject property into four lots with the existing dwelling and all of the floodway on its own parcel. The applicant has also applied for the placement of fill within the SFHA. The applicant proposes to fill the northern reaches of the SFHA to an elevation of 202.5 feet (NAVD '88) (Attachment D).
- 1.4 Proposed Parcel 4 is developed with an existing single dwelling unit, an accessory dwelling unit, and accessory buildings. The SFHA is located to the south of the existing dwelling unit and accessory structures. Portions of proposed Parcels 1 through 3 located at the northeast corner of the subject property are also located within the SFHA. See attached FIRMette which illustrates the location of the SFHA (Attachment E).
- 1.5 The applicant proposes to install a 15-inch culvert under East Thornton Lake Drive to divert the runoff under the road rather than over, with the approval from the Public Works Department. The proposed culvert will allow the flow of floodwaters under the right-of-way rather than flooding over the only access to the surrounding property owners.
- 1.6 With the placement of fill, all proposed lots will provide sufficient area to construct dwellings elevated above the designated FEMA SFHA.
- 1.7 At the time of building permit for any new structure in the floodplain, a floodplain development permit demonstrating compliance with the buildings standards in ADC 6.117 must be met. A flood development permit, a Type I Review, is processed concurrent with the building permit.
- 1.8 The BFE on the property is 202 feet (NAVD '88). The natural grade on the northwestern portion of the property slopes from approximately 199 feet to 209 feet. The first habitable floor of a new dwelling must be at least one foot above the BFE.

### Conclusion

- 1.1 Based on the factors above, the proposed subdivision will not increase the risk of flood damage, and the existing development will reasonable safe from flooding.
- 1.2 The criteria for "Grading, Fill, Excavation, and Paving" in the floodplain are also addressed later in this report. Those conclusions under ADC 6.111 are included here by reference.

### Condition

- Condition 9** Prior to issuance of building permits, the plans must be reviewed and approved for consistency with the floodplain building standards under ADC 6.120, to ensure that no buildings or structures are being constructed in the SFHA. In the event any buildings or structures are proposed to be constructed in

the SFHA, further floodplain review, including a pre-construction, during-construction, and post-construction elevation certificates, will be required.

## Criterion 2

**All new development and land division proposals shall have utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.**

### Findings of Fact

- 2.1 The existing property is currently served by public utilities. All new private and public utilities will be located underground and will not be susceptible to flood damage.
- 2.2 Private storm drains will be located underground within the floodplain. As previously addressed the applicant is required to submit a drainage plan, including supporting calculations, as defined in the City's Engineering Standards. The applicant is responsible for making provisions to control and/or convey storm drainage runoff origination from and/or draining to any proposed development in accordance with all City standards and policies as described in the City's Engineering Standards.
- 2.3 Any future development on the site will be reviewed at the time of development in accordance with all applicable floodplain development standards.

### *Conclusion*

- 2.1 The proposed development will have utilities and facilities located and constructed to minimize flood damage.
- 2.2 This criterion is met without conditions.

## Criterion 3

**On-site waste disposal systems shall be located and constructed to avoid functional impairment, or contamination from them, during flooding.**

### Findings of Fact

- 3.1 City utility maps show a 10-inch public sanitary sewer main in West Thornton Lake Drive along the length of the subject property's frontage, with the existing dwelling connected to the public sewer system.
- 3.2 No new on-site waste disposal systems are proposed or necessary for the proposed subdivision.
- 3.3 This criterion is met.

## Criterion 4

**All development proposals shall have adequate drainage provided to reduce exposure to flood damage.**

### Findings of Fact

- 4.1 The City's Engineering department has reviewed the applicant's preliminary stormwater plans and has determined that they are generally acceptable.
- 4.2 Provisions for stormwater drainage are addressed in detail under criterion #5. Those finders are included here by reference.
- 4.3 This criterion is met.

## Criterion 5

**Any lot created for development purposes must have adequate area created outside of the floodway to maintain a buildable site area meeting the minimum requirements of this Article.**

## Findings of Fact

- 5.1 Portions of the subject property are located within the SFHA, and the FEMA regulated floodway (Attachment E).
- 5.2 Proposed Parcel 4 is already developed with a single dwelling unit, an accessory dwelling, and multiple accessory buildings. All existing structures are located outside of the SHFA.
- 5.3 As illustrated on the tentative plat (Attachment B), proposed Parcels 1 through 3, portions of each parcel will lie within the SFHA but outside of the floodway boundary.
- 5.4 Future development on each parcel will be reviewed at the time of development
- 5.5 This criterion is met.

## Criterion 6

**Any new public or private street providing access to a residential development shall have a roadway crown elevation not lower than one foot below the 100-year flood elevation.**

## Findings of Fact

- 6.1 Access to the proposed parcels, apart from Parcel 4, will be provided via East Thornton Lake Drive, an existing public right-of-way. Parcel 4 has an existing access via a private right-of-way connecting to East Thornton Lake Drive.
- 6.2 There are no new public or private streets created by this land division.
- 6.3 This criterion is met.

## Criterion 7

**All development proposals shall show the location of the 100-year flood contour line followed by the date the flood elevation was established. When elevation data is not available, either through the Flood Insurance Study or from another authoritative source, and the development is four or more acres or results in four or more lots or structures, the elevation shall be determined and certified by a registered engineer. In addition, a statement located on or attached to the recorded map or plat shall read as follows: “Development of property within the Special Flood Hazard Area as most currently established by the Federal Emergency Management Agency or City of Albany may be restricted and subject to special regulations by the City.”**

## Findings of Fact

- 7.1 The applicant shall be required to submit all future site plans showing the location of the 100-year flood contour line followed by the date the flood elevation was established.
- 7.2 As a condition of approval, the final plat must include a statement that reads as follows: “Development of property within the Special Flood Hazard Area as most currently established by the Federal Emergency Management Agency or City of Albany may be restricted and subject to special regulations by the City.”
- 7.3 This criterion is met with conditions.

## Condition

- Condition 10** The final plat must include a statement that reads as follows: “**Development of property within the Special Flood Hazard Area as most currently established by the Federal Emergency Management Agency or City of Albany may be restricted and subject to special regulations by the City.**”

## Criterion 8

**In addition to the general review criteria applicable to manufactured home parks in Article 10, applications that propose actual development within a Special Flood Hazard Area shall include an evacuation plan indicating alternate vehicular access and escape routes.**

### Findings of Fact

- 8.1 The applicant is not proposing a manufactured home park on the created parcels.
- 8.2 This criterion is not applicable.

## Grading, Fill, Excavation and Paving in the Floodplain (ADC 6.111)

### Criterion 1

**Provisions have been made to maintain adequate flood-carrying capacity of existing watercourses, including future maintenance of that capacity.**

### Findings of Fact

- 1.1 The subject property is identified on the effective FIRM #41043C-0213H, dated December 8, 2016. Based on the FIRM, portions of the subject property are located within Zone AE of the SFHA, with a BFE of approximately 202 feet (NAVD '88).
- 1.2 The nearest watercourse is south of the site along East Thornton Lake. None of the fill, grading, paving, or excavation is proposed within the floodway of East Thornton Lake.
- 1.3 Fill is proposed in the floodplain to elevate the low portions of Parcels 1 through 3 to approximately 202.5 feet (NAVD '88). It will be placed as necessary to provide drainage facilities to carry storm water runoff from the site and from offsite neighboring properties to the public storm drain easement located upon proposed Parcel 4.

### Conclusions

- 1.1 The proposed development is located within limited portions of the floodplain; however, no fill is proposed to be placed within an existing watercourse.
- 1.2 This review criterion can be met with the following condition of approval.

### Condition of Approval

- Condition 11** Prior to issuance of a building permit on proposed Parcel 1, Parcel 2, or Parcel 3, the following documentation shall be submitted to the Community Development Department:
- a) As-built drawings with elevations provided; and
  - b) Letter from the Engineer of Record who is licensed in the state of Oregon, stating the total amount of fill and that the fill was placed in accordance with the signed plans.

## Criterion 2

**The proposal will be approved only where adequate provisions for stormwater runoff have been made that are consistent with the Public Works Engineering standards or are otherwise approved by the City Engineer.**

### Findings of Fact

- 2.1 The City's Engineering staff has reviewed the applicant's preliminary stormwater plans and has determined they are generally acceptable.
- 2.2 Provisions for stormwater drainage are addressed in detail under Site Plan Review Criterion #5. Those



findings are included here by reference.

## Conclusions

- 2.1 Provisions for stormwater drainage are addressed in detail under Site Plan Review Criterion #5. Those conclusions and conditions of approval are included here by reference.
- 2.2 Based on the findings stated above, the development has made adequate provisions for stormwater runoff.
- 2.3 This criterion is met without conditions.

## Criterion 3

**Provisions have been made to maintain adequate flood-carrying capacity of existing watercourses, including future maintenance of that capacity.**

### Findings of Fact

- 3.1 There are no existing City storm drains, sewers, or water lines within the proposed subdivision site.
- 3.2 Offsite storm drainage work to direct site runoff to existing City storm drains will be constructed under a Site Improvement Permit issued by the Public Works Department. The proposed work does not include filling over existing City utilities.
- 3.3 City storm drains, sewers, and water lines will be constructed within the proposed streets. These storm drains will be constructed to City standards.
- 3.4 Provisions for all City utilities (water, storm drainage, and sewer) are addressed in detail under Tentative Plat Review Criterion #5. Those conclusions and conditions of approval are included here by reference.

## Conclusions

- 3.1 Provisions for all City utilities (water, storm drainage, and sewer) are addressed in detail under Tentative Plat Review Criterion #5. Those conclusions and conditions of approval are included here by reference.
- 3.2 This criterion is met without conditions.

## Criterion 4

**In areas where no floodway has been designated on the applicable FIRM, grading will not be permitted unless it is demonstrated by the applicant that the cumulative effect of the proposed grading, fill, excavation, or paving when combined with all other existing and planned development, will not increase the water surface elevation of the base flood more than a maximum of one foot (cumulative) at any point within the community.**

### Findings of Fact

- 4.1 There is a designated floodway along the abutting sections of East Thornton Lake.
- 4.2 The proposed fill is located outside the FEMA-designated floodway for East Thornton Lake.

## Conclusions

- 4.1 The proposed development is located within limited portions of the floodplain; however, no fill is proposed to be placed within an active watercourse or the regulated floodway.
- 4.2 This criterion is met without conditions.

## Criterion 5

The applicant shall notify the City of Albany, any adjacent community, and the Natural Hazards Mitigation Office of the Oregon Department of Land Conservation and Development of any proposed grading, fill, excavation, or paving activity that will result in alteration or relocation of a watercourse (See Section 6.101).

### Findings of Fact

5.1 There is no proposed alteration or relocation of this watercourse.

### Conclusions

5.1 This criterion is not applicable.

## Criterion 6

**All drainage facilities shall be designed to carry waters to the nearest practicable watercourse approved by the designee as a safe place to deposit such waters. Erosion of ground in the area of discharge shall be prevented by installation of non-erosive down spouts and diffusers or other devices.**

### Findings of Fact

6.1 The City's Engineering staff has reviewed the applicant's preliminary stormwater plans and has determined they are generally acceptable. Provisions for stormwater drainage are addressed in detail under Tentative Plat Review Criterion #5. Those findings and conclusions are included here by reference.

6.2 Storm runoff from Parcels 1 through 3 will connect to a proposed public storm drainage easement that will infiltrate on site.

### Conclusions

6.1 Storm runoff from Parcels 1 through 3 will connect to a public storm drainage easement that will infiltrate on site.

6.2 The drainage from the remainder of the project will be collected, pre-treated, and discharged into West Thornton Lake on the project site. These new facilities will be public.

## Criterion 7

**Building pads shall have a drainage gradient of two percent toward approved drainage facilities, unless waived by the Building Official or designee.**

### Findings of Fact

7.1 The applicant confirms that no building pads are being proposed in the floodplain or floodway.

7.2 Future buildings will be required to obtain a building permit from the city prior to construction.

7.3 The building code requires drainage consistent with this requirement.

### Conclusions

7.1 This criterion is met.

## Overall Conclusion

The application review for a land division tentative plat (ADC 11.180), a land division within the 100-year floodplain (ADC 6.110) and for the placement of fill within the 100-year floodplain (ADC 6.111), satisfies all the applicable review criteria and adherence to the following conditions of approval:

## Overall Conditions

- Condition 1 Prior to recording the final plat map, the applicant shall construct or financially assure the construction of partial width street improvements along the site's frontage on East Thornton Lake Drive. Improvements shall be consistent with the approved site plan and consist of:
- A curb, gutter, and sidewalk along the south side of the street. The curb alignment shall reflect an ultimate curb to curb width of 30 feet centered within a 54-foot right of way.
  - The construction of the driveway approaches as shown on the approved site plan.
  - The construction of pavement to meet city standards with a width of 24 feet as measured from the south face of curb.
- Condition 2 Prior to recording the final plan map, the applicant shall provide a Petition for Improvement-Waiver of Remonstrance for participation in an assessment district for the improvement future public street along the western boundary of the subject property.
- Condition 3 Prior to or with recording the final plat map, the applicant shall dedicate:
- 10 feet of public street right-of-way along the site's frontage on East Thornton Lake Drive.
  - A 7-foot public utility easement along the site's frontage on East Thornton Lake Drive
  - 7 feet of public street right-of-way along the site's frontage along the western frontage.
  - A seven-foot public utility easement along the site's frontage along the western frontage.
- Condition 4 Prior to final plat approval, the applicant must construct public sanitary sewer, and water facilities to serve the proposed subdivision, generally as shown on the preliminary utility plans.
- Condition 5 Prior to final plat approval, the applicant shall dedicate a storm drainage easement over the infiltration area. Applicant shall provide infiltration test and determine the area needed to infiltrate a 10-year storm event.
- Condition 6 Before the City will approve the final subdivision plat, the applicant must place all utility lines, cables, or wires underground upon, adjacent to, or within the land in the subject subdivision.
- Condition 7 Prior to the approval of the Final Plat, the applicant must show compliance with the requirements from the Albany Fire Department (Attachment F).
- Condition 8 Prior to the issuance of a building permit in the Hillside Development Overlay, the applicant must provide a geotechnical report and soils report prepared and stamped by a certified engineering geologist, or a licensed civil engineer, licensed in the specialty of geotechnical engineering with the State of Oregon.
- Condition 9 Prior to issuance of building permits, the plans must be reviewed and approved for consistency with the floodplain building standards under ADC 6.120, to ensure that no buildings or structures are being constructed in the SFHA. In the event any buildings or structures are proposed to be constructed in the SFHA, further floodplain review, including a pre-construction, during-construction, and post-construction elevation certificates, will be required.
- Condition 10 The final plat must include a statement that reads as follows: **“Development of property within the Special Flood Hazard Area as most currently established by the Federal Emergency Management Agency or City of Albany may be restricted and subject to special regulations by the City.”**

Condition 11 Prior to issuance of a building permit on proposed Parcel 1, Parcel 2, or Parcel 3, the following documentation shall be submitted to the Community Development Department:

- As-built drawings with elevations provided; and
- Letter from the Engineer of Record who is licensed in the state of Oregon, stating the total amount of fill and that the fill was placed in accordance with the signed plans.

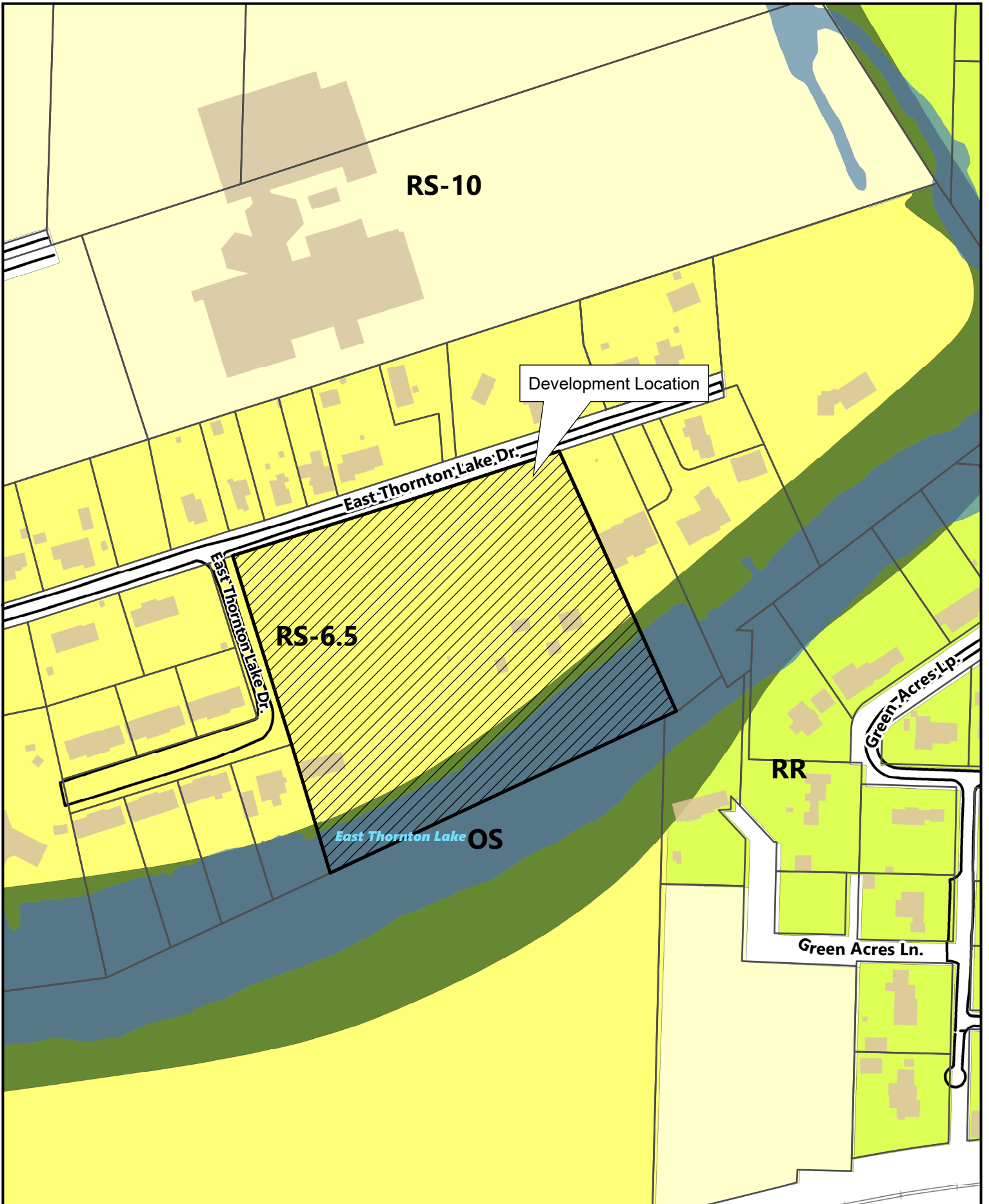
NOTE: *All required permits must be obtained through the Public Works Department before beginning work on any of the aforementioned improvements. Final design and construction details will be reviewed as part of the required permits. Reference is hereby made to the comments provided by the Public Works Department, Engineering Division.*

## Attachments

A	Location Map
B	Tentative Plat Maps
C	Applicant Narrative
D	Fill in the Floodplain/Grading Plans
E	FIRMette
F	Albany Fire Department Comments
G	DSL Comments

## Acronyms

ADC	Albany Development Code
AMC	Albany Municipal Code
BFE	Base Flood Elevation
DSL	Oregon Department of State Lands
FEMA	Federal Emergency Management Agency
FIRM	Federal Insurance Rate Map
GIS	Geographic Information Systems
ITE	Institute of Transportation Engineers
ODFW	Oregon Department of Forestry
OS	Open Space
RS-6.5	Residential Single Dwelling Unit District
SFHA	Special Flood Hazard Area (100-year floodplain)
SI	Site Improvement Permit
TSP	Transportation System Plan



G:\Community Development\Planning\Land Use Cases\2024\Permit\PA-02-24 (710 East Thornton Lake Drive)\Public Notice\_Location Map.mxd



0 50 100 200  
Feet

# 710 East Thornton Lake Drive NW

Date: 2/28/2024 Map Source: City of Albany

Location Map

TENTATIVE SUBDIVISION PLAT

FOR

DAN WATSON

LOCATED IN

JOHN QUINN THORNTON D.L.C. No. 37  
SW 1/4 SEC. 31, T. 10 S., R. 3 W., W.M.

IN THE

CITY OF ALBANY, BENTON COUNTY, OREGON

FEBRUARY 21, 2024



**OWNER/APPLICANT:**

DAN + ANDREA WATSON  
710 E. THORNTON LAKE DR. NW  
ALBANY, OR 97321

**ENGINEER/SURVEYOR:**

DANIEL K. WATSON, ENGINEER  
K+D ENGINEERING, INC.  
276 N.W. HICKORY STREET  
ALBANY, OR 97321  
(541) 928-2583

**SUBJECT PROPERTY:**

TAX LOT 1500 (MAP 10S-03W-31CC)  
710 E. THORNTON LAKE DR. NW  
ALBANY, OR 97321  
TOTAL LOT AREA = 6.65 ACRES

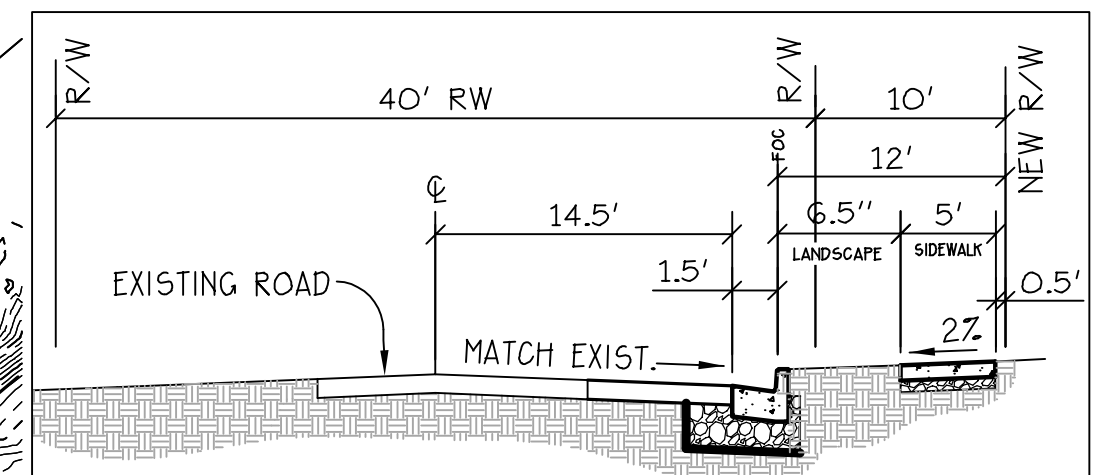
PARCEL 1 = 6,900 SF, PARCEL 2 = 6,500 SF  
PARCEL 3 = 6,500 SF, AVERAGE AREA = 6,633 SF  
REMAINDER AREA = 6.13 ACRES

**ZONING:**

RS-G.5 ZONE  
O/S OPEN SPACE ZONE

**NOTE:**

DATA SHOWN ON THIS MAP IS BASED ON BENTON COUNTY AND CITY OF ALBANY GIS DATABASES, ASSESSOR RECORDS, RECORD DEED INFORMATION AND RECORD SURVEY INFORMATION. FEMA FIRM PANEL 41043C0213H DATE: 12/8/2016. BASE FLOOD ELEVATION = 201.5 (NAVD 88) CONTOURS BASED ON CITY OF ALBANY LIDAR DATA (NAVD 88)

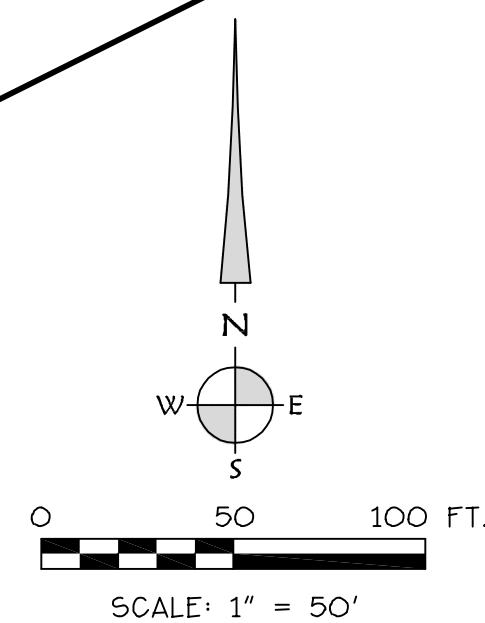


TYPICAL HALF ROAD SECTION

NOT TO SCALE

**LEGEND:**

- EXISTING RESIDENCE, GARAGE, SHOP, STRUCTURE
- EXIST. LAMP POST
- EXIST. FIRE HYDRANT
- EXIST. UTILITY POLE
- FIR TREE / DECIDUOUS TREE
- EXIST. WATER LINE
- EXIST. SEPTIC SYSTEM
- FLOODPLAIN LINE, BFE = 201.5
- PROPOSED STORM DRAIN



**TENTATIVE SUBDIVISION PLAT**  
**FOR**  
**DAN WATSON**  
 LOCATED IN  
**JOHN QUINN THORNTON D.L.C. No. 37**  
**SW 1/4 SEC. 31, T. 10 S., R. 3 W., W.M.**  
 IN THE  
**CITY OF ALBANY, BENTON COUNTY, OREGON**  
 FEBRUARY 21, 2024

**OWNER/APPLICANT:** DAN + ANDREA WATSON  
 710 E. THORNTON LAKE DR. NW  
 ALBANY, OR 97321

**ENGINEER/SURVEYOR:** DANIEL K. WATSON, ENGINEER  
 K+D ENGINEERING, INC.  
 276 N.W. HICKORY STREET  
 ALBANY, OR 97321  
 (541) 928-2583

**SUBJECT PROPERTY:**

TAX LOT 1500 (MAP 105-03W-31CC)  
 710 E. THORNTON LAKE DR. NW  
 ALBANY, OR 97321  
 TOTAL LOT AREA = 6.65 ACRES

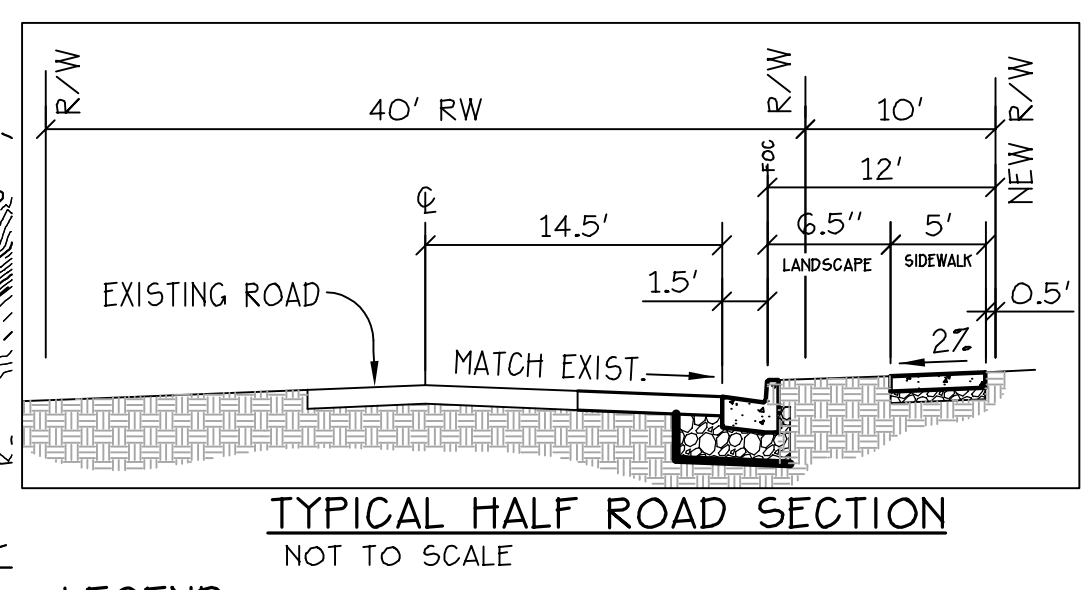
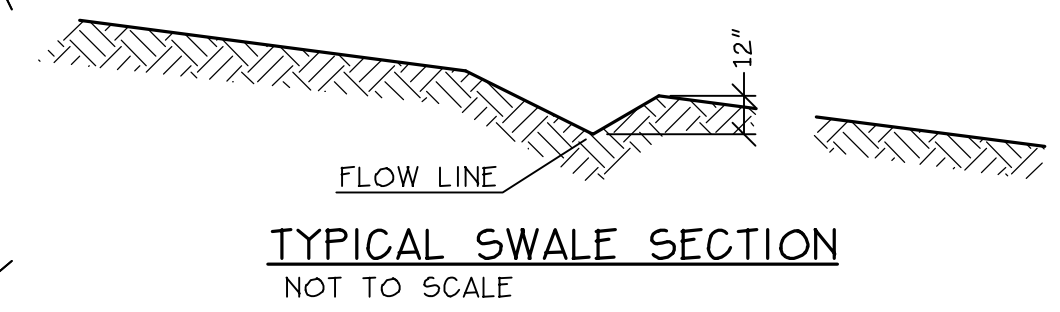
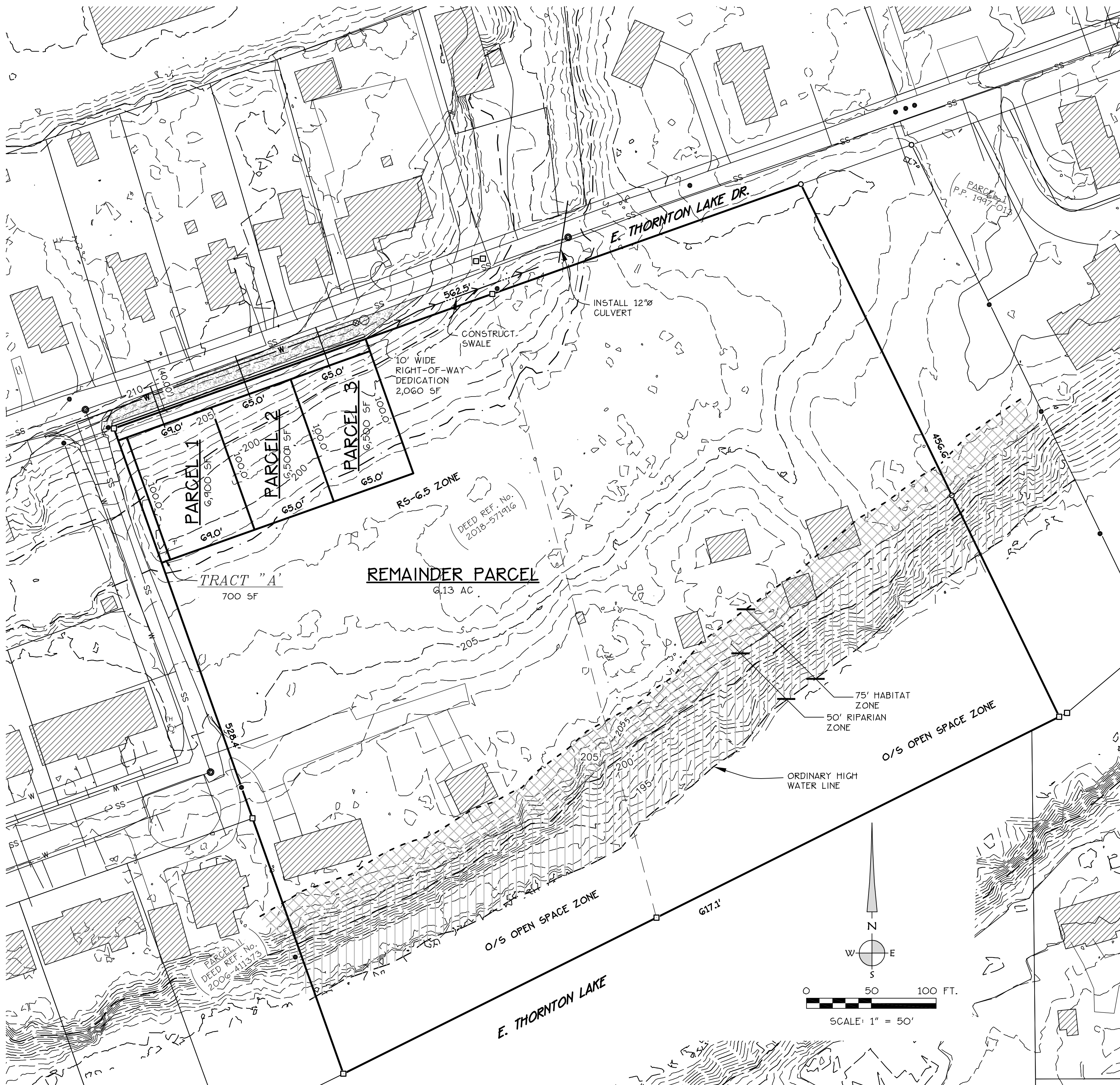
PARCEL 1 = 6,900 SF, PARCEL 2 = 6,500 SF  
 PARCEL 3 = 6,500 SF, AVERAGE AREA = 6,633 SF  
 REMAINDER AREA = 6.13 ACRES

**ZONING:**

R5-G.5 ZONE  
 O/S OPEN SPACE ZONE

**NOTE:**

DATA SHOWN ON THIS MAP IS BASED ON BENTON COUNTY AND CITY OF ALBANY GIS DATABASES, ASSESSOR RECORDS, RECORD DEED INFORMATION AND RECORD SURVEY INFORMATION. FEMA FIRM PANEL 41043C0213H DATE: 12/8/2016. BASE FLOOD ELEVATION = 201.5 (NAVD 88) CONTOURS BASED ON CITY OF ALBANY LIDAR DATA (NAVD 88)



- LEGEND:**
- EXISTING RESIDENCE, GARAGE, SHOP, STRUCTURE
  - EXIST. LAMP POST
  - EXIST. FIRE HYDRANT
  - EXIST. UTILITY POLE
  - FIR TREE / DECIDUOUS TREE
  - EXIST. WATER LINE
  - EXIST. SEPTIC SYSTEM
  - FLOODPLAIN LINE, BFE = 201.5
  - PROPOSED STORM DRAIN

**ATTACHMENT “A”**  
**PROPOSED FINDINGS**  
**for**  
**EMILY PLACE**  
**TENTATIVE SUBDIVISION PLAT**

**Introduction**

This project proposes a 4 lot Subdivision of 6.65 acres creating three 6,500 sf minimum lots and one 6.13 acre remainder parcel in North Albany. The site is Zoned RS-6.5 and Open Space. The open space includes the Riparian Corridor Overlay (RC) and Habitat Overlay. No work, grading or structures are proposed within the natural resource overlays or setbacks. No variances or density bonuses are sought for this project.

Planning file LA-08-17 relates to this parcel and does not affect this subdivision.

**Project Description**

This project proposes to subdivide Tax Lot 1500, Map 11S-3W-31CC into 3 residential subdivision lots and one remainder parcel. No proposed lots are less than the required minimum.

Sewer and water mains exist in East Thornton Lake Drive along the frontage of the proposed new lots. The property participated in the North Albany Sewer project that installed the sewer main. This property paid for one-half of the installation of the water main fronting the proposed lots and one water meter (currently used to bleed the end of the main).

No trees will be removed by this project. This project contains slopes greater 12% in the lot area. Daylight basement homes are anticipated. This site contains floodplain fringe designation. The flooding source, East Thornton Lake (designated Thornton Lake Overflow in the FEMA Flood Study), is blocked by the private drive west of the project site. The proposed residential lot sites will be filled to above the base flood elevation prior to construction of the homes.

The Albany Development Code itemizes the Tentative Plat Review Criteria upon which the review body will base its approval. We present these findings of fact supporting this application.



*[CODE CRITERIA WILL BE WRITTEN IN ITALICS FOLLOWED BY PROPOSED FINDINGS]*

**11.180 (1)** The proposal meets the development standards of the underlying zoning district, and applicable lot and block standards of this Section.

FINDINGS OF FACT

- 1.1 Lot Arrangement. There will be no foreseeable difficulties in securing building permits after mass grading. The homes will front East Thornton Lake Drive.
- 1.2 Lot Dimensions. Lot dimensions comply with the minimum standards of this code: Lot widths are 65 feet or greater. Lot depths are 100 feet or greater.
- 1.3 Lot Area. The average lot size is 6,633 square feet. The remainder parcel is 6.13 acres.
- 1.4 Double Frontage Lots. No double frontage lots are proposed.
- 1.5 Side Yards. Side yards run generally at right angles to the street.
- 1.6 Block Dimensions. This project is an infill project fronting East Thornton Lake Drive. No new streets or blocks are contemplated so this criterion does not apply.
- 1.7 Lot Frontage. All lots will have 65 feet minimum frontage.
- 1.8 Flag Lots. No flag lots are proposed.
- 1.9 Intersections. No new streets are proposed.

**CONCLUSION: This criterion is met.**

**11.180 (2)** *Development of any remainder of property under the same ownership can be accomplished in accordance with this code.*

FINDINGS OF FACT

- 2.1 The remainder parcel has access to East Thornton Lake Drive both west and east of the proposed lots.
- 2.2 A potential urbanization plan is submitted herewith and shows how the project can be further subdivided in compliance with city codes.

**CONCLUSION: This criterion is met.**

11.180 (3) *Adjoining land can be developed or is provided access that will allow its development in accordance with this code.*

FINDINGS OF FACT

- 3.1 On the North Boundary: Across East Thornton Lake Drive the lots are developed with single family homes.
- 3.2 On the West Boundary: Across the unnamed private access the lots are developed with single and duplex homes.
- 3.3 On the East and South Boundary: The remainder parcel has access to East Thornton Lake Drive and utility infrastructure.

**CONCLUSION: This criterion is met.**

11.180 (4) *The proposed street plan affords the best economic, safe, and efficient circulation of traffic possible under the circumstances.*

FINDINGS OF FACT

- 4.1 Streets. East Thornton Lake Drive the project on the north side. East Thornton Lake Drive will be widened to the City standard partial street improvement with curb and gutter along the property frontage. Curbs and gutters will be installed.
- 4.2 Streets. Albany's Transportation Plan does not identify any level of service or congestion issues adjacent to the proposed development.
- 4.3 Sidewalks. Sidewalks will be constructed with the homes as allowed by code on neighborhood streets.
- 4.8 Intersections. East Thornton Lake Drive is stop controlled at North Albany Road.
- 4.9 Lot Access. All lots will have frontage and be provided access to East Thornton Lake Drive.

**CONCLUSION: This criterion is met.**

- 11.180 (5) *The location and design allow development to be conveniently served by various public utilities.*

FINDINGS OF FACT

- 4.1 Utility Plan. The Tentative Plat shows the conceptual utility plan for the development with the proposed connections shown. Final design details will be approved with the plan review phase of the permit for private construction of public improvements.
- 4.2 Sanitary Sewer. The proposed lots will connect to the existing public sanitary sewer main, eight-inch diameter, located in East Thornton Lake Drive at the property frontage.
- 4.8 Water. Water service is provided by an eight-inch diameter public water line in East Thornton Lake Drive paid for by the fronting properties on both sides of the street.
- 4.9 Water. The three proposed lots will be served by the public water system. A fire hydrant 70 feet west on East Thornton Lake Drive serves the proposed new lots.
- 4.10 Franchise Utility Easements. Public utility easements will be placed along frontage of the new lots for use by the franchise utility companies. All utility companies will be provided plans to design their distribution systems. Prior to final platting, all franchised utility companies will be given the opportunity to obtain additional easements that may be necessary for their installations.

**CONCLUSION: This criterion is met.**

- 11.180 (6) *Criterion 6: Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic) as applicable.*

FINDINGS OF FACT

- 6.1 Topography. The slopes off the shoulder of the street exceed 12%. Fill will be required to support the widening. Fill will be placed on the property to raise the land above the floodplain.
- 6.2 Floodplain. The FEMA Base Flood Elevation at this site is Elevation 201.5 feet, NAVD 1988 Datum.
- 6.3 Floodplain. Portions of this site lie within FEMA Floodplain. The property is designated Zone X (Areas determined to be outside the 100-year floodplain) on FEMA Flood Insurance Rate Map, Community-Panel 41043C0213H, Effective Dated December 8, 2016 for most of the property. The 3 proposed lots are designated Zone AE, (areas within the 100-year flood plain, flood elevations determined), and Zone X. Fill will be placed to raise the lots above the flood plain. All structures will be constructed above the floodplain elevations as requires city codes.

- 6.4 Open Space Zone. Portions of the remainder parcel lie in the Open Space Zone. The Zone line location is determined by the location of the riparian corridor as stated in implementation method 5. for Goal 5 on page 1-7 of the Comprehensive Plan. No work is proposed in the natural resource areas of the open space.
- 6.5 Riparian Corridor Overlay. K&D Engineering surveyed the Ordinary High Water Line of West Thornton Lake along the project frontage. The Riparian Corridor is designated as that area within 50 feet of the Ordinary High Water Line. The Riparian Corridor is shown on the Tentative Plat, no grading or structures are proposed within the Riparian Corridor. The Riparian Overlay lies completely within the remainder parcel and no impact is proposed.
- 6.6 Habitat Overlay. A Habitat Overlay (for turtles) has been established for the perimeter of West Thornton Lake. That overlay is 75 feet width measured from the ordinary high water line. No structure or grading is proposed within the Habitat Overlay zone. The Habitat Overlay lies completely within the remainder parcel and no impact is proposed.
- 6.7 Wetlands. Wetlands are present only along the shore of East Thornton Lake. The wetlands lie completely within the remainder parcel and no impact is proposed.
- 6.8 Soils. The NRCS Web Soil Survey lists the site soils as Malabon Silty Clay Loam. These soils are not hydric and have been given a rating of 2 out of 100 by the NRCS.
- 6.9 Steep Slopes. Comprehensive Plan Plate 7 does shows slopes of 12% to 25% on the proposed lots. Plate 7 shows the same rating of slopes for the seven residential homes constructed east of the proposed lots. The existing lots are predominated by daylight basement homes suited to the topography. These homes range in age from 50 to 90 years old. A geotechnical evaluation will be performed prior to construction to establish requirements for construction. The fears contemplated by the hillside development ordinance are not in play on this project in these soils.
- 6.10 Historic Districts. Comprehensive Plan Plate 9 shows the property is not in a historic district. We are not aware of known archaeological sites on the property.

**CONCLUSION: This criterion is met.**

**FINDINGS FOR FLOODPLAIN FILL  
EAST THORNTON LAKE DRIVE NW**

Fill will be placed in Northwest of the property to raise a low area above the flood plain in order to build homes. This area is not physically connected to the flooding source as the West Thornton overflow channel is blocked by an unnamed residential access road west of the property. The access road is above the Base Flood Elevation as determined by field surveys. The first draft of revised floodplain prepared by the City of Albany Consultant preparing the flood study showed this area out of the floodplain. It was later added back in due solely on the elevation of the low area. Albany Code provisions are shown in .

*6.111 Grading, Fill, Excavation, and Paving, A floodplain development permit is required for grading, fill, excavation, and paving in the Special Flood Hazard Area (100-year floodplain), except activities exempted in Section 6.094 of this Article. No grading will be permitted in a floodway, except when the applicant has supplied evidence prepared by a professional engineer that demonstrates the proposal will not result in any increase in flood levels during the occurrence of the 100-year flood. The permit will be approved if the applicant has shown that each of the following criteria that are applicable have been met: [Ord. 5746, 9/29/10]*

*(1) Provisions have been made to maintain adequate flood-carrying capacity of existing watercourses, including future maintenance of that capacity.*

Fact: The flooding source for the property is the Thornton Lakes overflow. The private access road west of the property blocks flood flows above the Base Flood elevation.

Fact: No fill is proposed in the Floodway.

Fact: Fill is proposed in the Floodplain.

Fact: Storm water either from rain or flow from events greater than the Base Flood will flow north across East Thornton Lake Drive in a drainage channel the flows through north Albany Middle School to Quarry Road.

Fact: A floodway was established by the City of Albany in cooperation with FEMA. The fill area is outside the floodway and in floodplain fringe. By definition, where a Floodway is established fill in the floodplain fringe does compromise the flood carrying capacity of the watercourse.

**Conclusion: This proposed fill will not adversely impact the flood carrying capacity of the watercourse because storm water drainage facilities will be constructed to safely carry runoff to the public drainage system**

*(2) The proposal will be approved only where adequate provisions for stormwater runoff have been made that are consistent with the Public Works Engineering standards, or as otherwise approved by the City Engineer.*

Fact: Rainfall in this neighborhood is generally naturally infiltrated into the soils. This is true for the subject property. In the event Stormwater does not infiltrate, the runoff will pass over East Thornton Lake drive into a natural drainage channel.

Fact: A 12 inch culvert is proposed under East Thornton Lake Drive so that runoff can pass under the road rather than over if approved by Public Works Engineering.

**Conclusion: Adequate provisions for storm drain have been made for the site. This Criterion is met.**

(3) *No grading, fill, excavation, or paving will be permitted over an existing public storm drain, sanitary sewer, or water line unless it can be demonstrated to the satisfaction of the City Engineer that the proposed grading, fill, excavation, or paving will not be detrimental to the anticipated service life, operation and maintenance of the existing utility.*

Fact: There are no existing City storm drains, sewers or waterlines within the project site.

**Conclusion: The grading and fill proposed with this project will not be detrimental to existing city utilizes. This criterion is met.**

(4) *In areas where no floodway has been designated on the applicable FIRM, grading will not be permitted unless it is demonstrated by the applicant that the cumulative effect of the proposed grading, fill, excavation, or paving when combined with all other existing and planned development, will not increase the water surface elevation of the base flood more than a maximum of one foot (cumulative) at any point within the community.*

Fact: There is a designated floodway on Thornton Lakes Overflow

Fact: The proposed fill is outside the FEMA floodway designated for East Thornton Lake.

**Conclusion: No fill is proposed in the Floodway. This criterion is met.**

(5) *The applicant shall notify the City of Albany, any adjacent community, and the Natural Hazards Mitigation Office of the Oregon Department of Land Conservation and Development of any proposed grading, fill, excavation, or paving activity that will result in alteration or relocation of a watercourse (See Section 6.101).*

Fact: The watercourse is East Thornton Lake.

Fact: There is no proposed alteration or relocation of the Watercourse.

**Conclusion: This criterion is not applicable.**

(6) *All drainage facilities shall be designed to carry waters to the nearest practicable watercourse approved by the designee as a safe place to deposit such waters. Erosion of*

*ground in the area of discharge shall be prevented by installation of non-erosive down spouts and diffusers or other devices.*

Fact: This neighborhood generally infiltrates the storm water.

Fact: The 12-inch diameter storm drain will carry any runoff.

Fact: In the absence of the proposed storm drain, flood water, if any will drain over East Thornton Lake drive to the natural drainageway to the north.

Fact: this project does not change how the site drains.

Fact: Erosive velocities will not be affected by the fill since East Thornton Lake Drive currently dams the water from this site.

**Conclusion: This criterion is met.**

(7) *Building pads shall have a drainage gradient of two percent toward approved drainage facilities, unless waived by the Building Official or designee.*

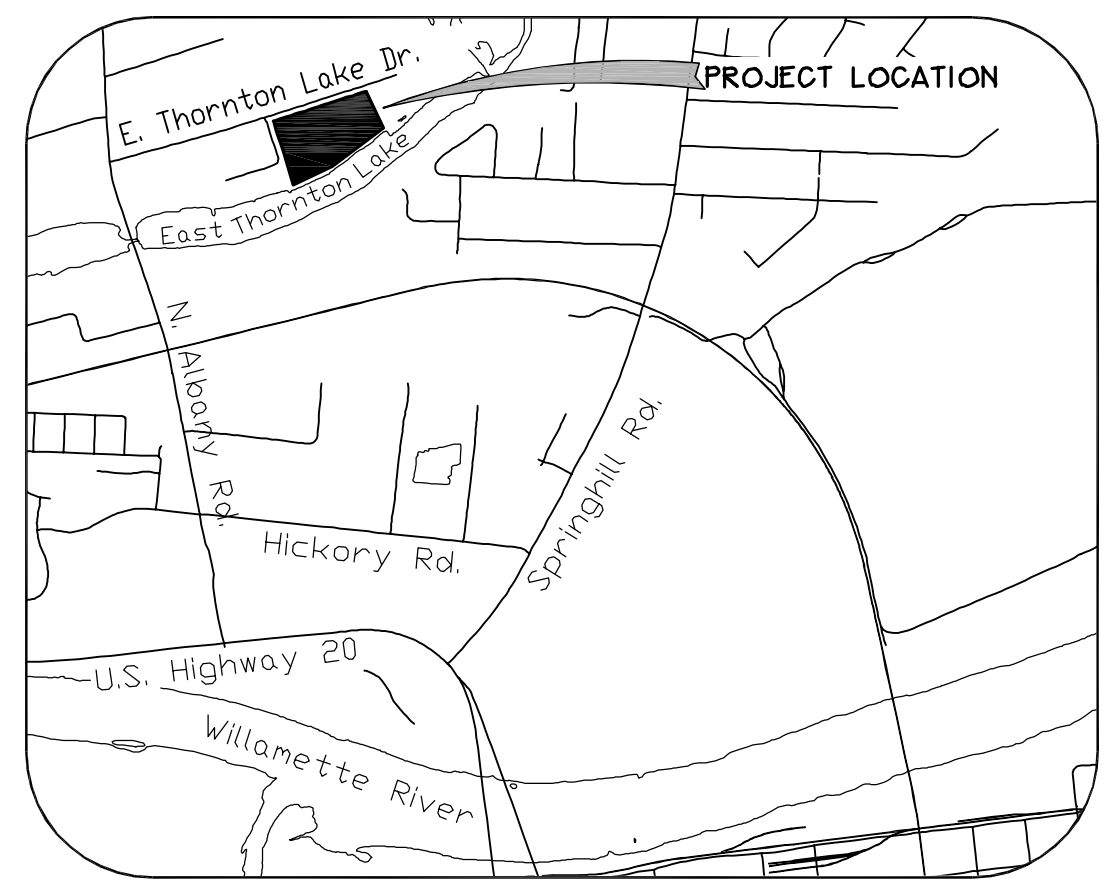
Fact: There are no building pads proposed in the floodplain or floodway.

Fact: Future buildings will be required to obtain a building permit from the City of Albany prior to construction and will presumably comply with the codes.

Fact: The building code requires drainage consistent with this requirement.

**Conclusion: The proposed plan will accommodate future building construction meeting building department requirements. This criterion is met.**

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VICINITY MAP  
SCALE: 1" = 100'

# FLOODPLAIN DEVELOPMENT

CITY OF ALBANY, BENTON COUNTY, OREGON

FEBRUARY 21, 2024

**OWNER:**

DAN + ANDREA WATSON  
710 E. THORNTON LAKE DR. NW  
ALBANY, OR 97321

**ENGINEER:**

DANIEL K. WATSON, ENGINEER  
K&D ENGINEERING, INC.  
276 N.W. HICKORY STREET  
ALBANY, OR 97321  
(541) 928-2583

**FLOOD DATA:**

FEMA FIRM PANEL 41043C0213H88 DATE: 12/8/2016.  
BASE FLOOD ELEVATION = 201.5 (NAVD 88)

CONTOURS BASED ON CITY OF ALBANY LIDAR DATA (NAVD 88)

**VERTICAL DATUM:**

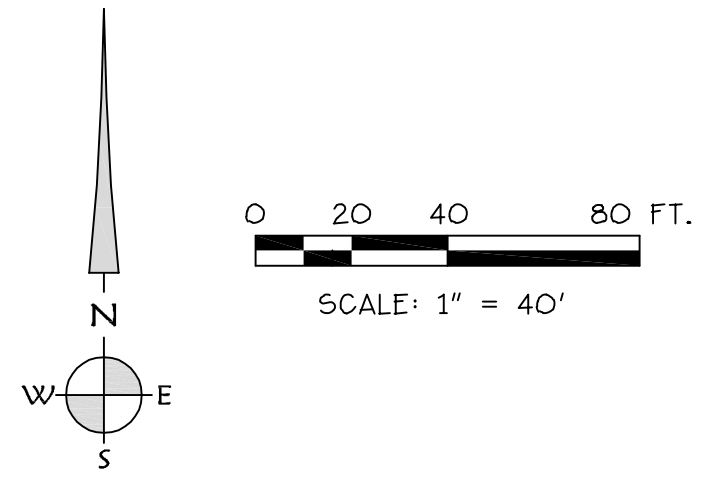
VERTICAL DATUM IS NAVD 88 BASED ON CITY OF ALBANY GPS POINT #93626 (LOCATED AT THE INTERSECTION OF NORTH ALBANY ROAD AND HICKORY STREET), RESET PER COUNTY SURVEY No. 4766, CAP ELEVATION = 205.84

**GENERAL NOTES:**

1. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT OREGON SPECIALTY CODES AND THESE DRAWINGS EXCEPT AS MODIFIED BY THE CONSTRUCTION REQUIREMENTS OF THE GRADING PERMIT ISSUED BY THE CITY OF ALBANY.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE PROCUREMENT OF ALL APPLICABLE PERMITS, LICENSES AND CERTIFICATE'S RELATIVE TO THE TRADES TO COMPLETE THE PROJECT AND FOR THE USE OF SUCH WORK WHEN COMPLETED. COMPLIANCE SHALL BE AT ALL LEVELS, FEDERAL, STATE, COUNTY, AND LOCAL, RELATING TO THE PERFORMANCE OF WORK
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND ARRANGE FOR THE RELOCATION OF ANY IN CONFLICT WITH THE PROPOSED CONSTRUCTION. ADDITIONAL UTILITIES MAY EXIST WITHIN THE WORK AREA.
4. OREGON LAW REQUIRES THE CONTRACTOR TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. THE CONTRACTOR MAY OBTAIN COPIES OF THE RULES FROM THE CENTER BY CALLING TOLL FREE TO (877) 668-4001 OR BY ACCESSING THE INTERNET AT [WWW.CALLBEFOREYOU.DIG.ORG](http://WWW.CALLBEFOREYOU.DIG.ORG). THE CONTRACTOR MUST NOTIFY THE CENTER AT LEAST TWO (2) BUSINESS DAYS, BUT NOT MORE THAN TEN (10) BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. CALL TOLL FREE TO (800) 332-2344.
5. THE CONTRACTOR SHALL MAKE PROVISIONS TO KEEP ALL EXISTING UTILITIES (INCLUDING NON-LOCATABLE) IN SERVICE AND PROTECT THEM DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE NOTIFICATION OF DAMAGE TO UTILITIES AND THE REPAIR OR REPLACEMENT OF DAMAGED UTILITIES USING MATERIALS AND METHODS APPROVED BY THE UTILITY OWNER. NO SERVICE INTERRUPTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN AGREEMENT WITH THE UTILITY OWNER. NO SERVICE INTERRUPTIONS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN AGREEMENT WITH THE UTILITY PROVIDER.
6. THE CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND CITY OF ALBANY PUBLIC WORKS INSPECTOR FORTY-EIGHT (48) HOURS IN ADVANCE OF STARTING CONSTRUCTION AND TWENTY-FOUR (24) HOURS BEFORE RESUMING WORK AFTER SHUT DOWNS, EXCEPT FOR NORMAL RESUMPTION OF WORK FOLLOWING SATURDAYS, SUNDAYS OR HOLIDAYS.
7. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION MATERIALS DEMOLISHED OR EXCESS. MATERIALS SHALL BE DISPOSED OF IN SUCH A MANNER AS TO MEET ALL APPLICABLE REGULATIONS.
8. ALL CONSTRUCTION VEHICLES SHALL PARK ON THE CONSTRUCTION SITE OR AT A LOCATION(S) INDICATED BY THE OWNER.
9. THE CONTRACTOR SHALL KEEP AN APPROVED SET OF PLANS ON THE PROJECT SITE AT ALL TIMES.
10. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THIS PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET THE INTENT OF THE PROJECT CONTRACT DOCUMENTS AND APPLICABLE AGENCY REQUIREMENTS.
11. THE CONTRACTOR SHALL MAINTAIN AND COORDINATE ACCESS SATISFACTORY WITH THE NEEDS OF EMERGENCY SERVICE AGENCIES AND ALL AFFECTED PROPERTIES.
12. ANY INSPECTION BY THE CITY, COUNTY, STATE, FEDERAL AGENCY, OR PROJECT ENGINEER SHALL NOT, IN ANY WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN COMPLIANCE WITH THE APPLICABLE CODES AND REGULATIONS, CITY STANDARDS, AND PROJECT DOCUMENTS.
13. THE CONTRACTOR SHALL PROVIDE THE CITY AND PROJECT ENGINEER A TWENTY-FOUR (24) HOUR CONTACT PERSON AND NUMBER.
14. THE CONTRACTOR SHALL RECORD ALL CHANGES TO THE CONSTRUCTION PLANS. CHANGES SHALL INCLUDE REFERENCE MEASUREMENTS, MATERIALS TYPES NOT PREVIOUSLY SHOWN ON THE PLANS.
15. BASE FLOOD ELEVATION = 201.50' PER FEMA FIRM MAP 41043C0213H, DATED DECEMBER 8, 2016.

**DRAWING INDEX:**

SHEET TITLE	SHEET NO.:
COVER SHEET, EROSION CONTROL PLAN	C-1.0
SITE PLAN	C-2.0
EROSION CONTROL NOTES	C-2.1



COVER SHEET

FLOODPLAIN DEVELOPMENT

CITY OF ALBANY, BENTON COUNTY, OREGON

NO.	DATE	REVISIONS	BY

HORZ. SCALE:	
VERT. SCALE:	
SIGN DATE:	2-21-2024
DSGN BY:	DKW
DRWN BY:	GSG
CHK BY:	DKW
PROJECT No.:	20-WATSON

SHEET No.:

# C-1.0



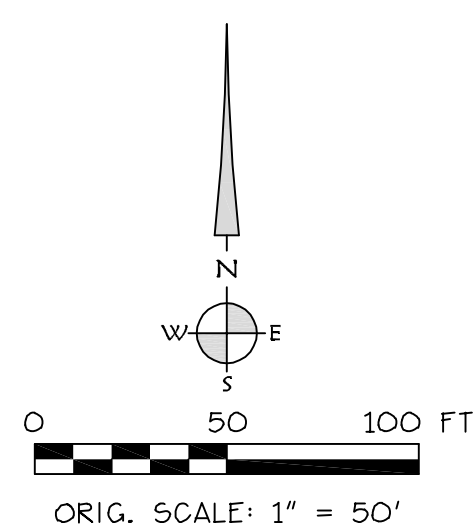
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- GRADING NOTES:**
1. FILL VOLUME: 2,960 CUBIC YARDS
  2. AREA OF DISTURBANCE = 32,088 SF
  3. AREA OF DISTURBANCE WITHIN FLOODPLAIN = 26,949 SF

**SITE PLAN**

SCALE: 1" = 100'



--- ORIGINAL / EXISTING  
100 YEAR FLOODPLAIN

PROPERTY TO BE REMOVED FROM  
LOCAL FLOODPLAIN BY FILL

AREA IN 100 YEAR FLOODPLAIN  
NOT REMOVED

SITE PLAN

FLOODPLAIN DEVELOPMENT

CITY OF ALBANY, BENTON COUNTY, OREGON

DATE	REVISIONS	BY

**K  
&  
D**

K&D ENGINEERING, INC.  
276 N.W. HICKORY ST.  
P.O. BOX 725  
ALBANY, OREGON 97321  
(541) 928-2583

HORZ. SCALE: 1" = 50'  
VERT. SCALE:  
SIGN DATE: 2-21-2024  
DSGN BY: DKW  
DRWN BY: GSG  
CHK BY: DKW  
PROJECT No.: 20-WATSON

SHEET No.:  
**C-2.0**

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**ESCP DRAWING STANDARD NOTES:**

- HOLD A PRE-CONSTRUCTION MEETING OF PROJECT CONSTRUCTION PERSONNEL THAT INCLUDES THE INSPECTOR TO DISCUSS EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION LIMITS. (SCHEDULE A.8.G.(1.3))
- ALL INSPECTIONS MUST BE MADE IN ACCORDANCE WITH DEQ 1200-C PERMIT REQUIREMENTS. (SCHEDULE A.12.B AND SCHEDULE B.1)
- INSPECTION LOGS MUST BE KEPT IN ACCORDANCE WITH DEQ'S 1200-C PERMIT REQUIREMENTS. (SCHEDULE B.1.C AND B.2)
- RETAIN A COPY OF THE ESCP AND ALL REVISIONS ON SITE AND MAKE IT AVAILABLE ON REQUEST TO DEQ, AGENT, OR THE LOCAL MUNICIPALITY. DURING INACTIVE PERIODS OF GREATER THAN SEVEN (7) CONSECUTIVE CALENDAR DAYS, THE ABOVE RECORDS MUST BE RETAINED BY THE PERMIT REGISTRANT BUT DO NOT NEED TO BE AT THE CONSTRUCTION SITE. (SCHEDULE B.2.C)
- ALL PERMIT REGISTRANTS MUST IMPLEMENT THE ESCP. FAILURE TO IMPLEMENT ANY OF THE CONTROL MEASURES OR PRACTICES DESCRIBED IN THE ESCP IS A VIOLATION OF THE PERMIT. (SCHEDULE A.8.A)
- THE ESCP MUST BE ACCURATE AND REFLECT SITE CONDITIONS. (SCHEDULE A.12.C.1)
- SUBMISSION OF ALL ESCP REVISIONS IS NOT REQUIRED. SUBMITTAL OF THE ESCP REVISIONS IS ONLY UNDER SPECIFIC CONDITIONS. SUBMIT ALL NECESSARY REVISION TO DEQ OR AGENT WITHIN 10 DAYS. (SCHEDULE A.12.C.IV. AND V)
- PHASE CLEARING AND GRADING TO THE MAXIMUM EXTENT PRACTICAL TO PREVENT EXPOSED INACTIVE AREAS FROM BECOMING A SOURCE OF EROSION. (SCHEDULE A.7.A.III)
- IDENTIFY, MARK, AND PROTECT (BY CONSTRUCTION FENCING OR OTHER MEANS) CRITICAL RIPARIAN AREAS AND VEGETATION INCLUDING IMPORTANT TREES AND ASSOCIATED ROOTING ZONES, AND VEGETATION AREAS TO BE PRESERVED. IDENTIFY VEGETATIVE BUFFER ZONES BETWEEN THE SITE AND SENSITIVE AREAS (E.G., WETLANDS), AND OTHER AREAS TO BE PRESERVED, ESPECIALLY IN PERIMETER AREAS. (SCHEDULE A.8.C.(1) AND (2))
- PRESERVE EXISTING VEGETATION WHEN PRACTICAL AND RE-VEGETATE OPEN AREAS. RE-VEGETATE OPEN AREAS WHEN PRACTICAL BEFORE AND AFTER GRADING OR CONSTRUCTION. IDENTIFY THE TYPE OF VEGETATIVE SEED MIX USED. (SCHEDULE A.7.A.V)
- MAINTAIN AND DELINEATE ANY EXISTING NATURAL BUFFER WITHIN THE 50-FOOT OF WATERS OF THE STATE. (SCHEDULE A.7.B.I AND (2)(A)(B))
- INSTALL PERIMETER SEDIMENT CONTROL, INCLUDING STORM DRAIN INLET PROTECTION AS WELL AS ALL SEDIMENT BASINS, TRAPS, AND BARRIERS PRIOR TO LAND DISTURBANCE. (SCHEDULE A.8.C.(5))
- CONTROL BOTH PEAK FLOW RATES AND TOTAL STORMWATER VOLUME, TO MINIMIZE EROSION AT OUTLETS AND DOWNSTREAM CHANNELS AND STREAMBANKS. (SCHEDULE A.7.C)
- CONTROL SEDIMENT AS NEEDED ALONG THE SITE PERIMETER AND AT ALL OPERATIONAL INTERNAL STORM DRAIN INLETS AT ALL TIMES DURING CONSTRUCTION, BOTH INTERNALLY AND AT THE SITE BOUNDARY. (SCHEDULE A.7.D.I)
- ESTABLISH CONCRETE TRUCK AND OTHER CONCRETE EQUIPMENT WASHOUT AREAS BEFORE BEGINNING CONCRETE WORK. (SCHEDULE A.8.C.(1)(G))
- APPLY TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS AS GRADING PROGRESSES. TEMPORARY OR PERMANENT STABILIZATION MEASURES ARE NOT REQUIRED FOR AREAS THAT ARE INTENDED TO BE LEFT UNVEGETATED, SUCH AS DIRT ACCESS ROADS OR UTILITY POLE PADS. (SCHEDULE A.8.C.(1)(3))
- ESTABLISH MATERIAL AND WASTE STORAGE AREAS, AND OTHER NON-STORMWATER CONTROLS. (SCHEDULE A.8.C.(1)(7))
- PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADS USING BMPs SUCH AS CONSTRUCTION ENTRANCE, GRAVELED (OR PAVED) EXITS AND PARKING AREAS, GRAVEL ALL UNPAVED ROADS LOCATED ONSITE, OR USE AN EXIT TIRE WASH. THESE BMPs MUST BE IN PLACE PRIOR TO LAND-DISTURBING ACTIVITIES. (SCHEDULE A.7.D.II AND A.8.C.(4))
- WHEN TRUCKING SATURATED SOILS FROM THE SITE, EITHER USE WATER-TIGHT TRUCKS OR DRAIN LOADS ON SITE. (SCHEDULE A.7.D.II.(5))
- CONTROL PROHIBITED DISCHARGES FROM LEAVING THE CONSTRUCTION SITE, I.E., CONCRETE WASH-OUT, WASTEWATER FROM CLEANOUT OF STUCCO, PAINT AND CURING COMPOUNDS. (SCHEDULE A.6)
- USE BMPs TO PREVENT OR MINIMIZE STORMWATER EXPOSURE TO POLLUTANTS FROM SPILLS, VEHICLE AND EQUIPMENT FUELING, MAINTENANCE, AND STORAGE; OTHER CLEANING AND MAINTENANCE ACTIVITIES; AND WASTE HANDLING ACTIVITIES. THESE POLLUTANTS INCLUDE FUEL, HYDRAULIC FLUID, AND OTHER OILS FROM VEHICLES AND MACHINERY, AS WELL AS DEBRIS, FERTILIZER, PESTICIDES AND HERBICIDES, PAINTS, SOLVENTS, CURING COMPOUNDS AND ADHESIVES FROM CONSTRUCTION OPERATIONS. (SCHEDULE A.7.E.(1)(2))
- IMPLEMENT THE FOLLOWING BMPs WHEN APPLICABLE: WRITTEN SPILL PREVENTION AND RESPONSE PROCEDURES, EMPLOYEE TRAINING ON SPILL PREVENTION AND PROPER DISPOSAL PROCEDURES, SPILL KITS IN ALL VEHICLES, REGULAR MAINTENANCE SCHEDULE FOR VEHICLES AND MACHINERY, MATERIAL DELIVERY AND STORAGE CONTROLS, TRAINING AND SIGNAGE, AND COVERED STORAGE AREAS FOR WASTE AND SUPPLIES. (SCHEDULE A.7.E.(1)(1))
- USE WATER, SOIL-BINDING AGENT OR OTHER DUST CONTROL TECHNIQUE AS NEEDED TO AVOID WIND-BLOWN SOIL. (SCHEDULE A.7.A.IV)
- THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS TO MINIMIZE NUTRIENT RELEASES TO SURFACE WATERS. EXERCISE CAUTION WHEN USING TIME-RELEASE FERTILIZERS WITHIN ANY WATERWAY RIPARIAN ZONE. (SCHEDULE A.9.B.III)
- IF AN ACTIVE TREATMENT SYSTEM (FOR EXAMPLE, ELECTRO-COAGULATION, FLOCCULATION, FILTRATION, ETC.) FOR SEDIMENT OR OTHER POLLUTANT REMOVAL IS EMPLOYED, SUBMIT AN OPERATION AND MAINTENANCE PLAN (INCLUDING SYSTEM SCHEMATIC, LOCATION OF SYSTEM, LOCATION OF INLET, LOCATION OF DISCHARGE, DISCHARGE DISPERSION DEVICE DESIGN, AND A SAMPLING PLAN AND FREQUENCY) BEFORE OPERATING THE TREATMENT SYSTEM. OBTAIN PLAN APPROVAL BEFORE OPERATING THE TREATMENT SYSTEM. OPERATE AND MAINTAIN THE TREATMENT SYSTEM ACCORDING TO MANUFACTURER'S SPECIFICATIONS. (SCHEDULE A.9.D)
- TEMPORARILY STABILIZE SOILS AT THE END OF THE SHIFT BEFORE HOLIDAYS AND WEEKENDS, IF NEEDED. THE REGISTRANT IS RESPONSIBLE FOR ENSURING THAT SOILS ARE STABLE DURING RAIN EVENTS AT ALL TIMES OF THE YEAR. (SCHEDULE A.7.B)
- AS NEEDED BASED ON WEATHER CONDITIONS, AT THE END OF EACH WORKDAY SOIL STOCKPILES MUST BE STABILIZED OR COVERED, OR OTHER BMPs MUST BE IMPLEMENTED TO PREVENT DISCHARGES TO SURFACE WATERS OR CONVEYANCE SYSTEMS LEADING TO SURFACE WATERS. (SCHEDULE A.7.E.II.(2))
- CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND BARE GROUND ACTIVITIES DURING WET WEATHER. (SCHEDULE A.7.A.I)
- SEDIMENT FENCE: REMOVE TRAPPED SEDIMENT BEFORE IT REACHES ONE THIRD OF THE ABOVE GROUND FENCE HEIGHT AND BEFORE FENCE REMOVAL. (SCHEDULE A.9.C.I)
- OTHER SEDIMENT BARRIERS (SUCH AS BIOBAGS): REMOVE SEDIMENT BEFORE IT REACHES TWO INCHES DEPTH ABOVE GROUND HEIGHT AND BEFORE BMP REMOVAL. (SCHEDULE A.9.C.I)
- CATCH BASINS: CLEAN BEFORE RETENTION CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT. SEDIMENT BASINS AND SEDIMENT TRAPS: REMOVE TRAPPED SEDIMENTS BEFORE DESIGN CAPACITY HAS BEEN REDUCED BY FIFTY PERCENT AND AT COMPLETION OF PROJECT. (SCHEDULE A.9.C.III+ IV)
- WITHIN 24 HOURS, SIGNIFICANT SEDIMENT THAT HAS LEFT THE CONSTRUCTION SITE, MUST BE REMEDIATED. INVESTIGATE THE CAUSE OF THE SEDIMENT RELEASE AND IMPLEMENT STEPS TO PREVENT A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN-UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DIVISION OF STATE LANDS REQUIRED TIMEFRAME. (SCHEDULE A.9.B.I)
- THE INTENTIONAL WASHING OF SEDIMENT INTO STORM SEWERS OR DRAINAGE WAYS MUST NOT OCCUR. VACUUMING OR DRY SWEEPING AND MATERIAL PICKUP MUST BE USED TO CLEANUP RELEASED SEDIMENTS. (SCHEDULE A.9.B.II)
- THE ENTIRE SITE MUST BE TEMPORARILY STABILIZED USING VEGETATION OR A HEAVY MULCH LAYER, TEMPORARY SEEDING, OR OTHER METHOD SHOULD ALL CONSTRUCTION ACTIVITIES CEASE FOR 30 DAYS OR MORE. (SCHEDULE A.7.F.I)
- PROVIDE TEMPORARY STABILIZATION FOR THAT PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES CEASE FOR 14 DAYS OR MORE WITH A COVERING OF BLOWN STRAW AND A TACKIFIER, LOOSE STRAW, OR AN ADEQUATE COVERING OF COMPOST MULCH UNTIL WORK RESUMES ON THAT PORTION OF THE SITE. (SCHEDULE A.7.F.II)
- DO NOT REMOVE TEMPORARY SEDIMENT CONTROL PRACTICES UNTIL PERMANENT VEGETATION OR OTHER COVER OF EXPOSED AREAS IS ESTABLISHED. ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED, ALL TEMPORARY EROSION CONTROL AND RETAINED SOILS MUST BE REMOVED AND DISPOSED OF PROPERLY, UNLESS DOING SO CONFLICTS WITH LOCAL REQUIREMENTS. (SCHEDULE A.8.C.III(1) AND D.3.C.II AND III)

**STANDARD EROSION SEDIMENTATION CONTROL NOTES:**

- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND VEGETATION IS ESTABLISHED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD BY THE ENGINEER PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS WILL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE CONDITIONS OF THE DEQ 1200-C PERMIT.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED, AS NEEDED, FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT LEAVE THE SITE.
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED, AS NECESSARY, TO ENSURE THEIR CONTINUED EFFECTIVENESS.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH, OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
- AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- WET WEATHER CONSTRUCTION MAY REQUIRE SOME OR ALL OF THE FOLLOWING:
  - THE MATTING OR MULCHING OF ANY EXPOSED AREAS DURING THE RAINY SEASON, AS NEEDED, TO PROTECT EXPOSED SOILS FROM EROSION AND PREVENT SEDIMENTATION PROBLEMS.
  - THE PROTECTION OF EXISTING AND NEWLY CONSTRUCTED STORM DRAIN INLETS W/SEDIMENT FENCES, FILTER FABRIC AND GRAVEL, OR OTHER APPROPRIATED MEASURES TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.
  - THE IMPLEMENTATION OF ANY ADDITIONAL EROSION CONTROL MEASURES REQUIRED BY LOCAL, STATE, OR FEDERAL AUTHORITIES.
- STRAW BALES CANNOT BE SUBSTITUTED FOR SEDIMENT FENCES.
- THE FILL WILL CONSIST OF THE EXCAVATED MATERIAL TAKEN FROM STREETS, TRENCHES AND LOTS WITHIN THE SITE.
- A COMPREHENSIVE LIST OF AVAILABLE BEST MANAGEMENT PRACTICES (BMP) OPTIONS BASED ON DEQ'S 1200-C PERMIT APPLICATION AND ESCP GUIDANCE DOCUMENT HAS BEEN REVIEWED TO COMPLETE THIS EROSION AND SEDIMENT CONTROL PLAN. SOME OF THE ABOVE LISTED BMPs WERE NOT CHOSEN BECAUSE THEY WERE DETERMINED TO NOT EFFECTIVELY MANAGE EROSION PREVENTION AND SEDIMENT CONTROL FOR THIS PROJECT BASED ON SPECIFIC SITE CONDITIONS, INCLUDING SOIL CONDITIONS, TOPOGRAPHIC CONSTRAINTS, ACCESSIBILITY TO THE SITE, AND OTHER RELATED CONDITIONS. AS THE PROJECT PROGRESSES AND THERE IS A NEED TO REVISE THE ESCP, AN ACTION PLAN WILL BE SUBMITTED.

**TEMPORARY FILTER SEDIMENT BARRIER:**

- USE EXTRA-STRENGTH AMOCO 2125 FILTER FABRIC OR APPROVED EQUAL
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO MINIMIZE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPUN TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACH AS SHOWN ON DETAIL AT RIGHT.
- SEDIMENT FENCES SHALL BE INSPECTED BY THE CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED AT A MAXIMUM OF 6-FOOT APART AND DRIVEN SECURELY IN THE GROUND A MINIMUM OF 24-INCHES.
- THE FILTER FABRIC SHALL HAVE A MINIMUM BURIAL OF 6 INCHES. ALL EXCAVATED MATERIAL FROM FILTER FABRIC FENCE INSTALLATION, SHALL BE BACK FILLED AND COMPACTED, ALONG THE ENTIRE DISTURBED AREA.
- STANDARD OR HEAVY DUTY FILTER FABRIC FENCE SHALL HAVE MANUFACTURED STITCHED LOOPS FOR 2"x2" POST INSTALLATION. STITCHED LOOPS SHALL BE INSTALLED ON THE UP HILL SIDE OF THE SLOPED AREA.
- SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

**PERMANENT SEEDING:**

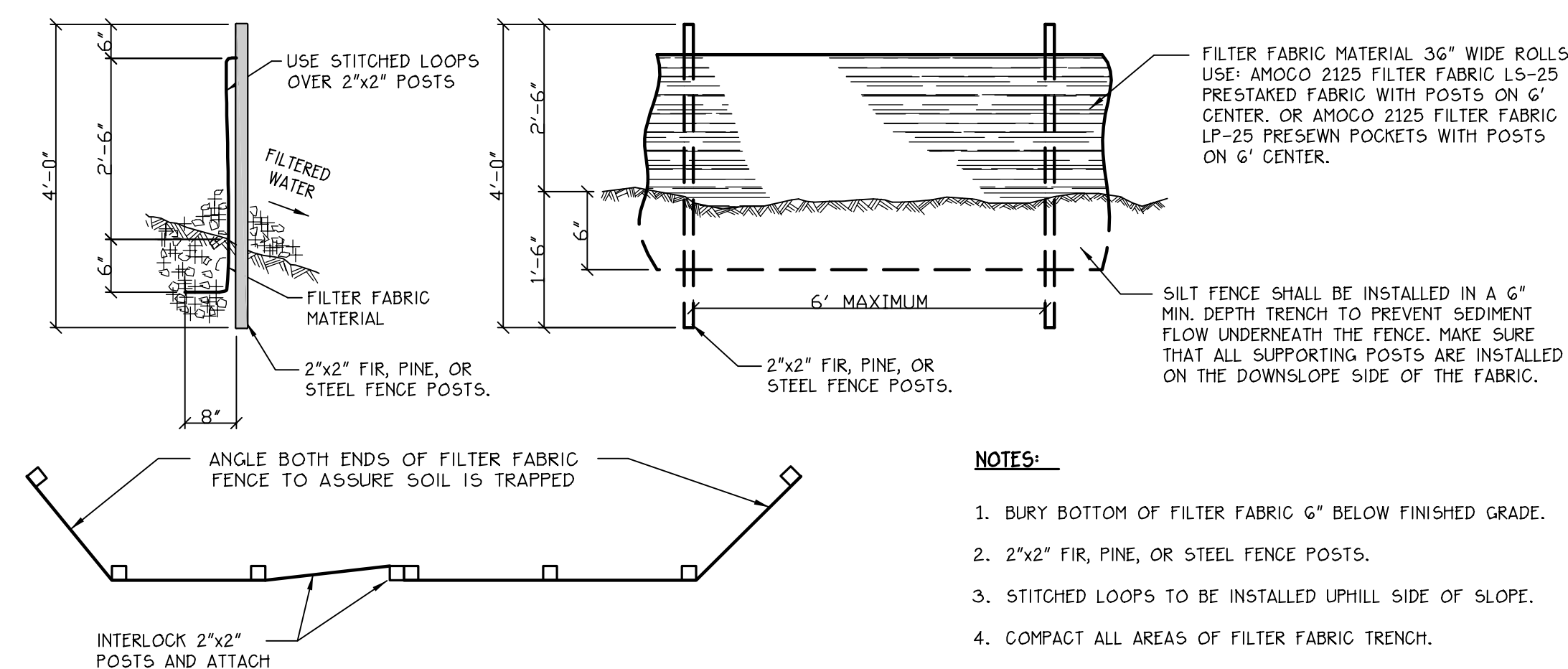
- ALL DISTURBED AREAS AND FILL AREAS SHALL BE SEED WITH AN APPROVED SEED MIX AND COVERED WITH A MINIMUM OF 3" DEPTH STRAW SEED SHALL BE OREGON CERTIFIED SEED CONTAINING 40% ANNUAL RYE GRASS AND 60% TURF TYPE FESCUE.
- SEEDING SHALL BE COMPLETED PRIOR TO OCTOBER 1ST.
- SIMILAR MIXES DESIGNED TO ACHIEVE EROSION CONTROL MAY BE SUBSTITUTED IF APPROVED BY THE ENGINEER.

**GENERAL GRADING NOTES:**

- ANY GRADING ON THE SITE SHALL BE COMPLETED SO AS TO MAINTAIN EXISTING DRAINAGE FROM ADJACENT PROPERTIES.
- ALL FILLS SHALL BE PLACED AS ENGINEERED FILLS. STRIP A MINIMUM FOUR INCHES (4") PRIOR TO PLACING FILLS.
- THE CONTRACTOR SHALL ALTER THE MOISTURE CONTENT OF THE SOIL EITHER BY ADDING MOISTURE OR BY DRYING THE SOIL BY AERATION SUCH THAT THE MOISTURE CONTENT OF THE SOIL DOES NOT VARY BY PLUS OR MINUS THREE PERCENT (3%) OF THE OPTIMUM.
- DEPOSIT MATERIAL IN LAYERS NOT TO EXCEED SIX INCHES (6") DEEP ACROSS THE FULL WIDTH OF THE FILL. PLACE MATERIAL IN CONTINUOUS HORIZONTAL LAYERS. COMPACT EACH LIFT TO AT LEAST NINETY-FIVE PERCENT (95%) MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. IF THE SURFACE OF A PRECEDING LIFT IS TOO DRY OR SMOOTH TO BOND PROPERLY WITH THE NEXT LAYER OF MATERIAL, MOISTEN OR SCARIFY, OR BOTH, BEFORE THE NEXT LAYER OF MATERIAL IS PLACED. OWNER SHALL PROVIDE COMPACTION TESTING OF ALL ENGINEERED FILLS.
- CONTRACTOR SHALL CONFORM TO ALL CONSTRUCTION PERMITS REQUIRED BY THE CITY OF MILLERSBURG.
- ALL MATERIALS AND WORKMANSHIP FOR PUBLIC FACILITIES SHALL CONFORM TO THE CITY OF ALBANY STANDARD CONSTRUCTION SPECIFICATIONS.

**CONSTRUCTION ENTRANCE:**

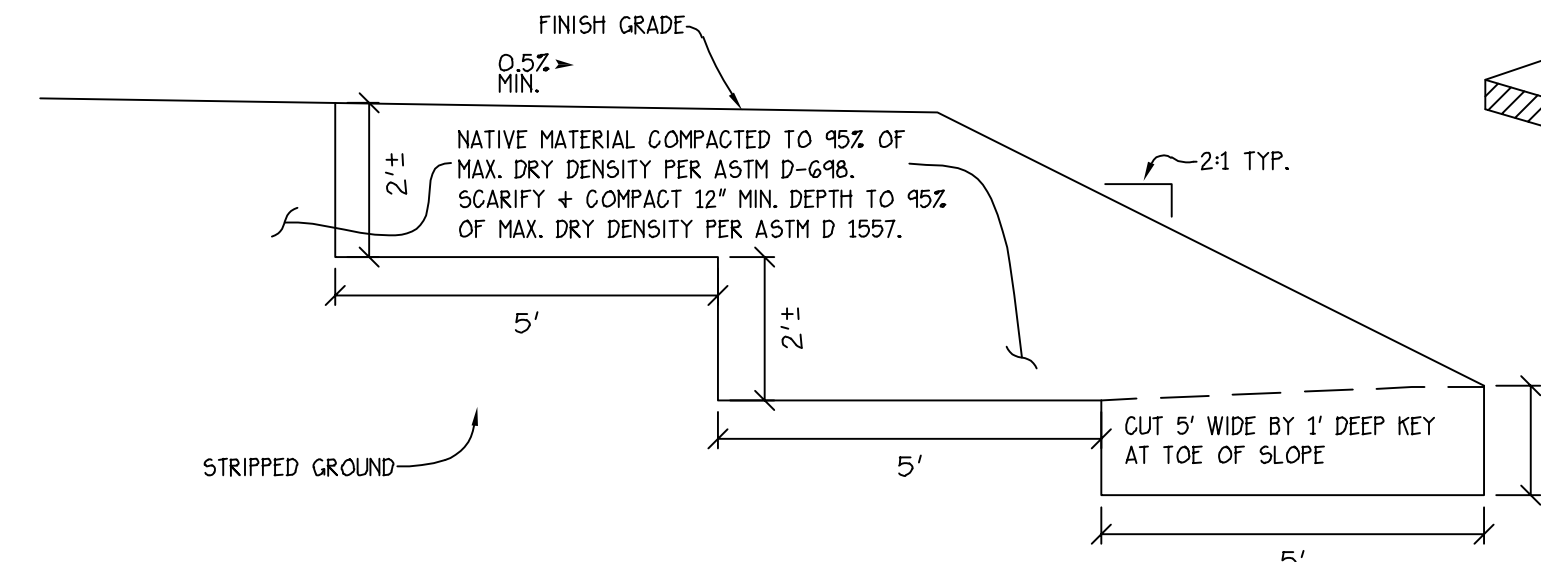
- EXISTING GRAVEL ENTRANCES ARE IN PLACE. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ADDITIONAL GRAVEL SHALL BE INSTALLED AS NEEDED. MATERIAL SHOULD BE CLEAN 1"-0 CRUSHED AGGREGATE. (OR LARGER, AS NEEDED). PIT-RUN CANNOT BE SUBSTITUTED FOR 1"-0 AGGREGATE.
- THE ROCK PAD SHALL BE AT LEAST 8 INCHES THICK AND AT LEAST 50 FEET IN LENGTH. WIDTH SHALL BE THE FULL WIDTH OF THE VEHICLE INGRESS AND EGRESS AREA.
- IF THE GRAVEL PAD DOES NOT ADEQUATELY REMOVE DIRT AND MUD FROM VEHICLE WHEELS SUCH THAT MUD AND DIRT TRACKING IS EVIDENT OFF SITE, ADDITIONAL MEASURES MUST BE TAKEN. SUCH MEASURES MAY INCLUDE MOWING OFF WHEELS BEFORE VEHICLES LEAVE THE SITE OR OTHER CONSTRUCTION TECHNIQUES/WORK OPERATIONS MODIFICATIONS. WHEEL WASHING SHOULD BE DONE ON THE GRAVEL PAD AND WASH WATER SHOULD DRAIN THROUGH A SILT-TRAPPING STRUCTURE PRIOR TO LEAVING THE CONSTRUCTION SITE.
- USE SUB-GRADE STABILIZATION FABRIC UNDER GRAVEL PADS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE PUBLIC ROADWAY IF SOIL FROM THE SITE IS TRACKED OFF SITE.



**TEMPORARY SEDIMENT FABRIC FENCE DETAIL**

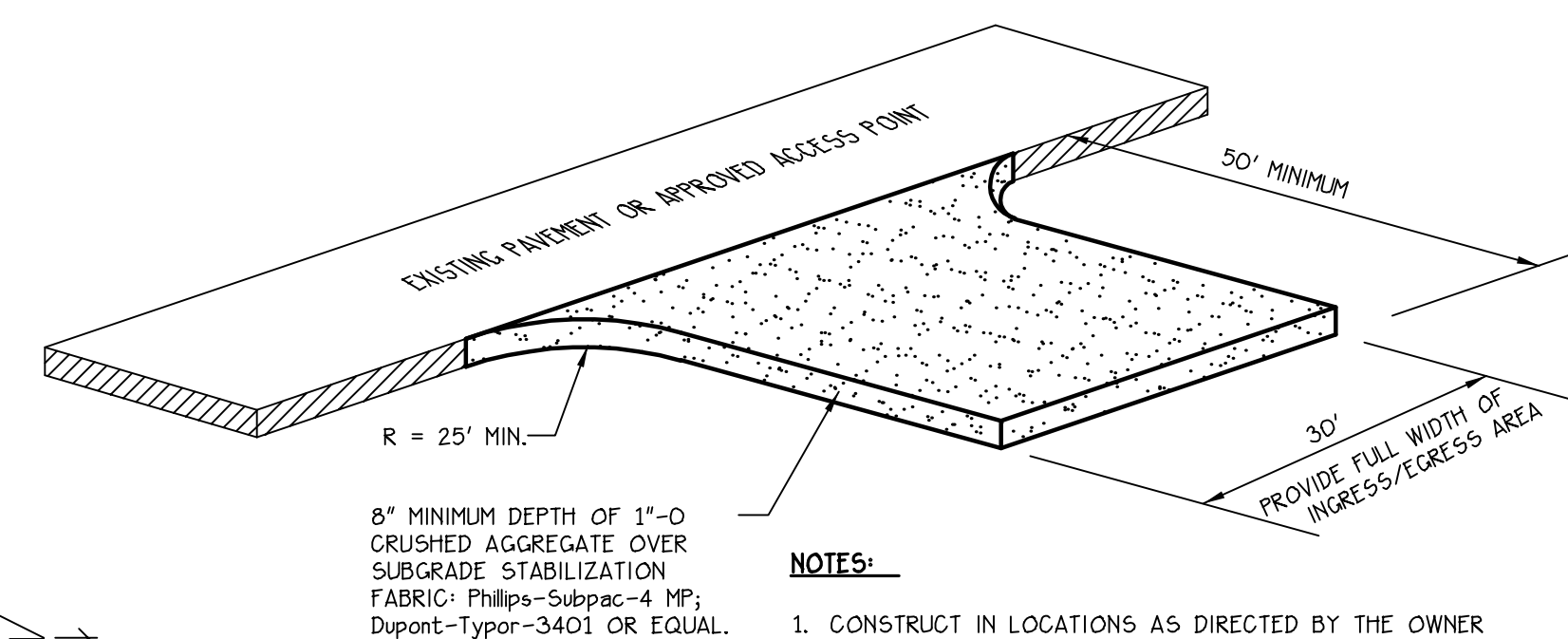
TECHNICAL GUIDANCE HANDBOOK DRAWING DETAIL No. 3-2 NOT TO SCALE

SITE CONDITION	MINIMUM FREQUENCY
1. ACTIVE PERIOD.	DAILY WHEN STORMWATER RUNNING, INCLUDING RUNOFF FROM SNOW MELT, IS OCCURRING.  AT LEAST ONCE EVERY 14 DAYS, REGARDLESS OF WHETHER STORMWATER RUNOFF IS OCCURRING.
2. PRIOR TO THE SITE BECOMING INACTIVE OR IN ANTICIPATION OF SITE INACCESSIBILITY.	ONCE TO ENSURE THAT EROSION AND SEDIMENT CONTROL MEASURE ARE IN WORKING ORDER. ANY NECESSARY MAINTENANCE AND REPAIR MUST BE MADE PRIOR TO LEAVING THE SITE.
3. INACTIVE PERIODS GREATER THAN FOURTEEN (14) CONSECUTIVE CALENDAR DAYS.	ONCE EVERY MONTH.
4. PERIODS DURING WHICH THE SITE IS INACCESSIBLE DUE TO INCLEMENT WEATHER.	IF PRACTICAL, INSPECTION MUST OCCUR DAILY AT A RELEVANT AND ACCESSIBLE DISCHARGE POINT OR DOWNSTREAM LOCATION.
5. PERIODS DURING WHICH DISCHARGE IS UNLIKELY DUE TO FROZEN CONDITIONS.	MONTHLY. RESUME MONITORING IMMEDIATELY UPON MELT, OR WHEN WEATHER CONDITIONS MAKE DISCHARGES LIKELY.



**TYPICAL FILL DETAIL**

NOTE: WHERE EXISTING GROUND IS SLOPED, ADDITIONAL BENCHES SHALL BE INSTALLED AS DIRECTED BY ENGINEER. NOT TO SCALE



**STABILIZED CONSTRUCTION ENTRANCE**

TECHNICAL GUIDANCE HANDBOOK DRAWING DETAIL No. 3-1A NOT TO SCALE

PROJECT IS EXPEDITED TO BE PERFORMED IN DRY WEATHER. EXISTING PRIVATE GRAVEL ROAD WILL SERVE AS CONSTRUCTION ENTRANCE.

EROSION CONTROL NOTES

FLOODPLAIN DEVELOPMENT

CITY OF ALBANY, BENTON COUNTY, OREGON

NO.	DATE	REVISIONS	BY

**K & D**  
 K&D ENGINEERING, INC.  
 276 N.W. HICKORY ST.  
 P.O. BOX 725  
 ALBANY, OREGON 97321  
 (541) 928-2583

HORZ. SCALE: AS NOTED  
 VERT. SCALE:  
 SIGN DATE: 2-21-2024  
 DSGN BY: DKW  
 DRWN BY: GSG  
 CHCK BY: DKW

PROJECT No.: 20-WATSON

SHEET No.:

**C-2.1**

# National Flood Hazard Layer FIRMette



123°7'3"W 44°39'14"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

<b>SPECIAL FLOOD HAZARD AREAS</b>	<ul style="list-style-type: none"> <li>Without Base Flood Elevation (BFE) Zone A, V, A99</li> <li>With BFE or Depth Zone AE, AO, AH, VE, AR</li> <li>Regulatory Floodway</li> </ul>
<b>OTHER AREAS OF FLOOD HAZARD</b>	<ul style="list-style-type: none"> <li>0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X</li> <li>Future Conditions 1% Annual Chance Flood Hazard Zone X</li> <li>Area with Reduced Flood Risk due to Levee. See Notes. Zone X</li> <li>Area with Flood Risk due to Levee Zone D</li> </ul>
<b>OTHER AREAS</b>	<ul style="list-style-type: none"> <li>NO SCREEN Area of Minimal Flood Hazard Zone X</li> <li>Effective LOMRs</li> <li>Area of Undetermined Flood Hazard Zone D</li> </ul>
<b>GENERAL STRUCTURES</b>	<ul style="list-style-type: none"> <li>Channel, Culvert, or Storm Sewer</li> <li>Levee, Dike, or Floodwall</li> </ul>
<b>OTHER FEATURES</b>	<ul style="list-style-type: none"> <li>20.2 Cross Sections with 1% Annual Chance Water Surface Elevation</li> <li>17.5 Coastal Transect</li> <li>Base Flood Elevation Line (BFE)</li> <li>Limit of Study</li> <li>Jurisdiction Boundary</li> <li>Coastal Transect Baseline</li> <li>Profile Baseline</li> <li>Hydrographic Feature</li> </ul>
<b>MAP PANELS</b>	<ul style="list-style-type: none"> <li>Digital Data Available</li> <li>No Digital Data Available</li> <li>Unmapped</li> </ul> <p>The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.</p>



123°6'26"W 44°38'48"N

Basemap Imagery Source: USGS National Map 2023

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/23/2024 at 2:35 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



TO: Jennifer Cepello, Planner

From: Lora Ratcliff, Fire Marshal

DATE: February 29, 2024

SUBJECT: PA-02-24 –710 E. Thornton Lake Dr NW - Partition - Fire Department Comments

The fire department has reviewed the above project for conformance to the 2022 Oregon Fire Code (OFC) per your request and has the following comments:

**\*\*Land Use permit will include a \$125 Fire Plans Review fee\*\***

1. Residential developments/projects of one- or two-family dwellings where the number of dwellings exceeds 30 shall be provided with at least 2 means of fire apparatus access. These access points shall be remotely separated by at least ½ the length of the maximum overall diagonal dimension of the property or area served. (OFC Appendix D107.1)

**There are currently more than 30 dwellings on East Thornton Lake Dr. NW. All new dwellings shall be fully sprinklered per NFPA 13D.**

2. Approved fire apparatus roadways must extend to within 150 feet of all exterior portions of any structure that will be built on the new created lot as measured by an approved route of travel around the exterior of the structure with dead-end lengths not exceeding 150 feet long unless an approved turnaround is provided. (OFC 503.1.1, OFC 503.2.5 and OFC, Appendix D 103.4).
3. This proposed project is located within a “Protected Area” as defined by Oregon Fire Code (OFC) Appendix B, Section B102 and this area will be required to be served by a public water system. The Fire Flow required shall be as specified in Appendix B of the fire code. (OFC 507.3)
4. INADEQUATE FIRE APPROACH & ACCESS TO WATER SUPPLY

If the Fire Official determines that there is an inadequate fire apparatus access condition or an inadequate fire water supply for one or more parcels of the proposed division, in Lieu of providing adequate fire apparatus access or supply and acting in conformance to the standards set forth in **OAR 918-480-0125**, the Uniform Alternate Construction Standard for One and Two Family Dwellings, the Building Official, will select the following standard to address the inadequacies pertaining to structures built on the affected parcels:

Installation of an NFPA Standard 13D fire suppression system.

LAR/lar

Lora Ratcliff  
541-917-7728  
[lora.ratcliff@cityofalbany.net](mailto:lora.ratcliff@cityofalbany.net)



## Wetland Land Use Notice Response

### Response Page

#### Department of State Lands (DSL) WN# \*

WN2024-0543

#### Responsible Jurisdiction

<b>Staff Contact</b>	<b>Jurisdiction Type</b>	<b>Municipality</b>
Jennifer Cepello	City	Albany
<b>Local case file #</b>	<b>County</b>	
PA-02-24 & FP-02-24	Benton	

#### Activity Location

<b>Township</b>	<b>Range</b>	<b>Section</b>	<b>QQ section</b>	<b>Tax Lot(s)</b>
10S	03W	31	CC	1500

Street Address

710 E Thornton Lake Dr NW

Address Line 2

City

Albany

Postal / Zip Code

97321

State / Province / Region

OR

Country

Benton

**Latitude**

44.650966

**Longitude**

-123.111984

#### Wetland/Waterway/Other Water Features

- There are/may be wetlands, waterways or other water features on the property that are subject to the State Removal-Fill Law based upon a review of wetland maps, the county soil survey and other available information.
- The National Wetlands Inventory shows wetland, waterway or other water features on the property
- The National Hydrography Dataset shows wetland, waterway or other water features on the property
- Local Wetlands Inventory shows wetland, waterway or other water features on the property
- The county soil survey shows hydric (wet) soils on the property. Hydric soils indicate that there may be wetlands.

#### Your Activity

- A state permit will not be required for the proposed project because, based on the submitted site plan, the project avoids impacts to jurisdictional wetlands, waterways, or other waters.

## Applicable Oregon Removal-Fill Permit Requirement(s)

- A state permit is required for 50 cubic yards or more of fill removal or other ground alteration in wetlands, below ordinary high water of waterways, within other waters of the state, or below highest measured tide.

## DSL Review

### Wetland Ecologist Comments

The plans submitted for this review only showed the proposed floodplain fill. Wetlands and waters do not appear and a state permit is not required for this component. The proposed subdivision construction map was not included therefore the construction footprint could not be evaluated. If the subdivision occurs in the southern portion of the property, there are mapped hydric soils and a wetland delineation and wetland removal-fill permit could be required. If it remains in the northern half of the property, no further wetland investigation is needed.

**This is a preliminary jurisdictional determination and is advisory only.**

This report is for the State Removal-Fill law only. City or County permits may be required for the proposed activity.

### Contact Information

For information on permitting, use of a state-owned water, wetland determination or delineation report requirements please contact the respective DSL Aquatic Resource, Proprietary or Jurisdiction Coordinator for the site county.

### Response Date

8/29/2024

### Response by:

Daniel Evans

### Response Phone:

503-428-8188